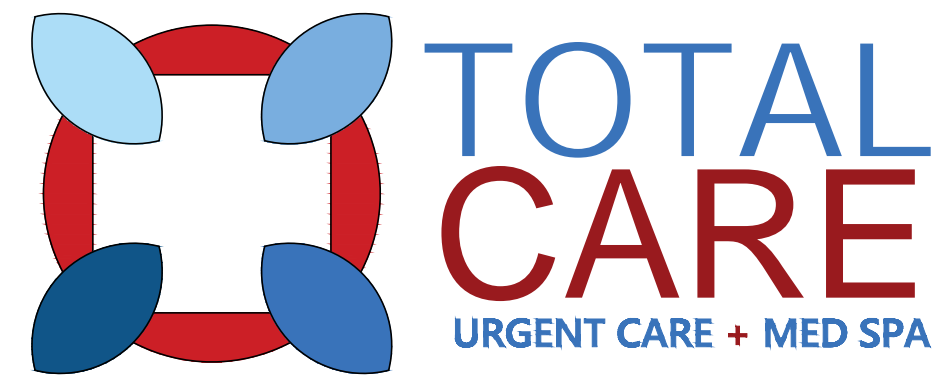
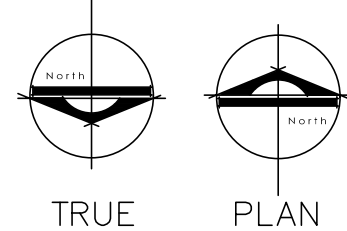
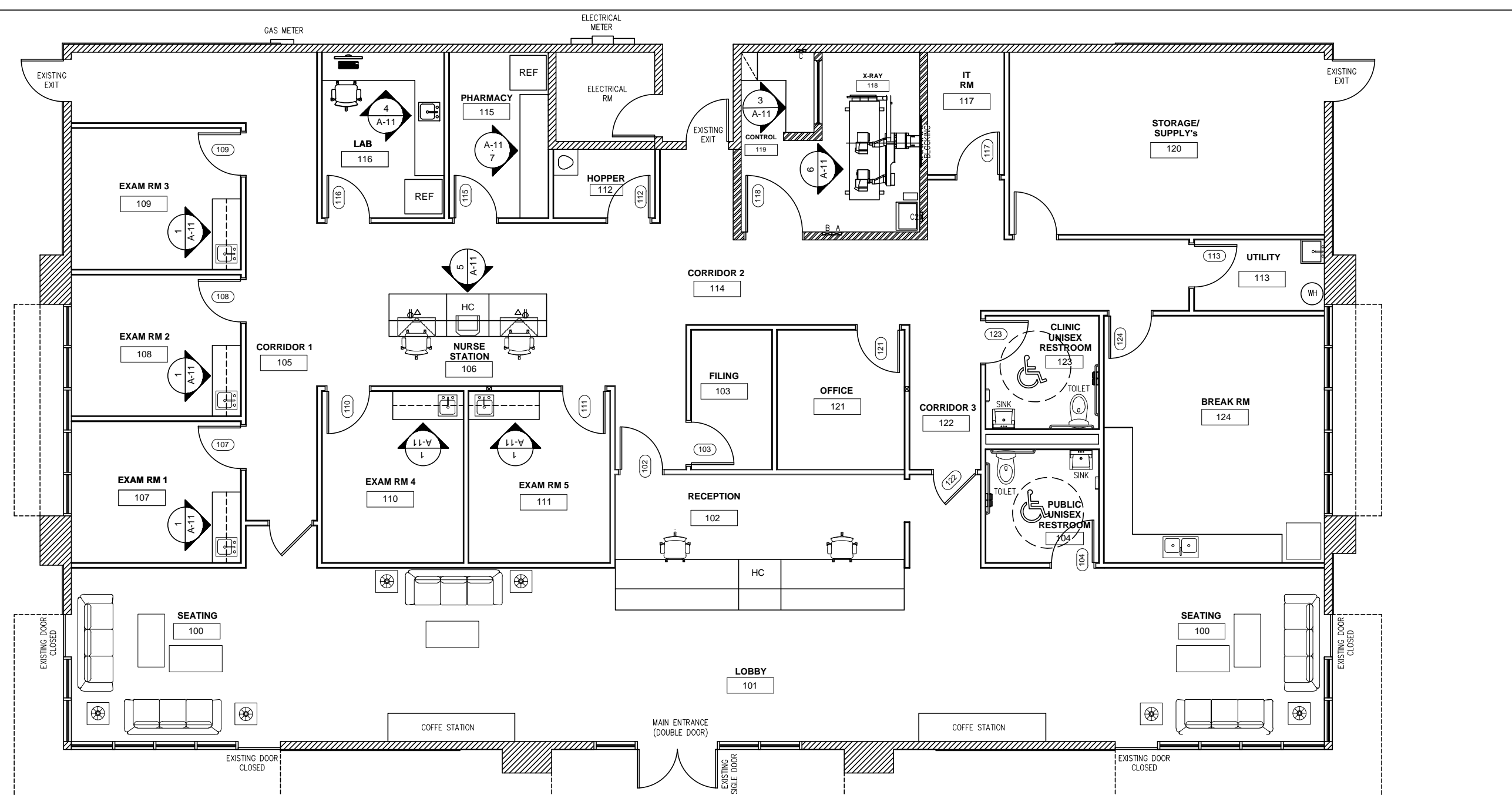
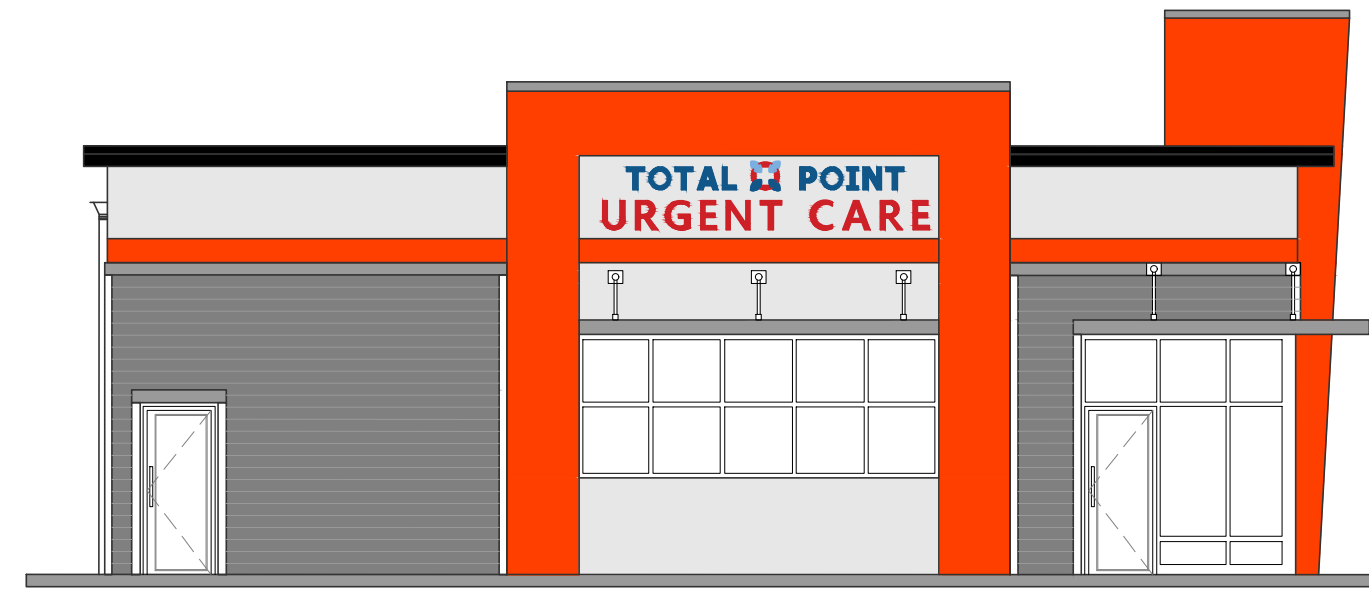




South Campbell Ave Baptist Church



1029 South Campell, Avenue Sprinfiel, MO



SHEET INDEX

SHEET REVISION	DESCRIPTION
C1	COVER SHEET
A1	GENERAL NOTES AND LEGENDS
A2	EXISTING CONDITIONS SITE AND SATELITE
A2.1	EXISTING FLOOR PLAN, ELEVATION, DEMO PLAN
A3	EGRESS & LIFE SAFETY PLAN
A4	CONSTRUCTION PLAN
A5	REFLECTED CEILING PLAN
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A7	FINISH PLAN
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A10	DOOR SCHEDULE
A11	MILLWORK
M1.0	MECHANICAL PLAN
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E-1.0	ELECTRICAL LIGHTING PLAN
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E-3	ONE LINE DIAGRAM
E-4.0	ELECTRICAL SCHEDULE
E-5.0	ELECTRICAL DETAILS

PROJECT SCOPE

PROJECT ADDRESS: 1029 S Campbell, Springfield, MO 65807

PROJECT SCOPE: ALTERATION TO EXISTING SINGLE STORY BUILDING AND STRUCTURAL WORK.

BLDG GROSS SQ FT: 4,380 SQ FT
 STORIES: SINGLE DETACHED SLAB ON GRADE
 CONSTRUCTION TYPE: Type 5B (VB)
 SITE AREA: xxx ACRES

NEW OCCUPANCY: (B) BUSINESS TOTAL POINT CENTER
 CURRENT ZONING: EXISTING C-2 GENERAL COMMERCIAL

BUILDING DEPT NOTES

BUILDING TO COMPLY WITH:
 2012 Fire Code IFC
 2011 Electrical Code NEC
 2012 International Building Code
 2012 International Mechanical Code
 2012 International Plumbing Code

OCCUPANCY CLASSIFICATION- CLINIC-OUT PATIENT
 CONSTRUCTION CLASSIFICATION - TYPE (VB)

NON SPRINKLERED BUILDING
 OCCUPANCY LOAD (1 PERSON PER 100 GROSS SF) - 30

FIRE RATINGS FOR TYPE 5A
 WALL BEARING - 0 HOUR
 EXTERIOR WALL - 0 HOUR
 CORRIDORS UNDER 30 PERSONS - 0 HOUR
 INTERIOR WALLS - 0 HOUR
 NON LOAD BEARING WALLS - 0 HOUR
 STAIRS & ELEVATORS - NA
 STRUCTURE & SECONDARY ROOF - 0 HOUR
 FIRE WALL - NA

MINIMUM # OF EXTERIOR EXITS - (1) EXITS
 EXTERIOR EXITS PROVIDED - 2 EXITS

INTERIOR FINISHES - (B) MIN FLAME SPREAD

MAXIMUM ALLOWABLE FLOOR SPACE WITH NO SPRINKLER SYSTEM TYPE VA CONST - 9,000 FT
 MAXIMUM TRAVEL DISTANCE - 200 FT
 MAXIMUM BUILDING HGT - 40 FT

PLUMBING REQ'S

MINIMUM PLUMBING FACILITIES [PER IBC TABLE 2902.1]

OCCUP.	WATER CLOSET MEN WOMEN	LAVATORIES MEN WOMEN	DRINKING FOUNTAIN	OTHER
(B) BUSINESS	1:25	1:40	1:100	1 SERVICE SINK
REQUIRED B	2 2	2 2	1 1	1 1



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1		07/20/22



SHEET TITLE
 GENERAL NOTES, ADA NOTES & LEGENDS

Project 1029 South Campbell Avenue, Springfield, MO	Sheet
DRAWN BY: BMH AS BUILT USA	C-1
Date: 07/20/2022	

ABBREVIATIONS

Table listing abbreviations such as #, @, ACT, AD, AFF, ALUM, ANOD, BSMT, BYND, BOT, CIP, CHNL, CJ, CLG, CLR, CMU, COL, COMP, CONC, CONT, CPT, CT, CTYD, DBL, DEMO, DIA, DIM, DIMS, DN, DR, DWG, EA, EJ, EL, ELEV, ELEC, EPDM, EQ, EXIST, EXP, JT, EXT, FD, FEC, FIXT, FLR, FM, FO, FND, GA, GALV, GWB, HC, HI, HM, HP, HR, HVAC, IRGWB, ILO, INSUL, INT, LO, MAX, MO, MECH, MEMBR, MIN, MRGWB, MTL, NIC, NO, NOM, OC, OH, OZ, PCC, PLUMB, PLYD, PT, PNT, PVC, RBR, RCP, RD, REQD, RM, SIM, SPEC, SPR, SS, STC, STL, STRUCT, T&G, TEL, TLT, TO, TOC, TOS, TPD, T/D, TYP, UNO, U/S, VIF, VP, W, WD.

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT(ADA) AND THE TEXAS ACCESSIBILITY STANDARD (TAS), IF COST OD CONSTRUCTION EXCEEDS \$50,000, SUBMIT PLANS TO TDLR FOR PLAN REVIEW.
2. THE CONTRACTOR AND SUB CONTRACTORS SHALL OBTAIN REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. THE PROJECT SHALL MEET ALL LOCAL AND STATE CODES AND ORDINANCES.
4. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHALL BE BROUGHT UP TO THE ARCHITECT IMMEDIATELY.
5. FURNISH AND INSTALL ALL MATERIALS FOR COMPLETE INSTALLATION IN ALL RESPECTS READY FOR INTENDED USE IN ACCORDANCE WITH STATE AND LOCAL CODES AND MANUFACTURE'S RECOMMENDATIONS.
6. THE STRUCTURAL SYSTEM INCLUDING THE FOUNDATION IS DESIGNED BY THE STRUCTURAL ENGINEER.
7. ELECTRICAL SYSTEM IS DESIGNED BY THE ELECTRICAL ENGINEER.
8. PLUMBING SYSTEM SHALL IS DESIGNED BY THE PLUMBING ENGINEER. SEE MEP DRAWINGS.
9. MECHANICAL SYSTEM IS DESIGNED BY THE MECHANICAL ENGINEER SEE MEP DRAWINGS.
10. THIS IS A NON SPRINKLERED BUILDING.
11. PROVIDE FIRE EXTINGUISHERS (2-A RATED) TO BE INSTALLED NOT TO EXCEED 75 FEET APART.

PROJECT TEAM

Table with columns: OWNER, MEP ENGINEER, ARCHITECT. Includes US ASSETS INC., JAMES E. THOMPSON & ASSOCIATES ENGINEERS, and BMH AS-BUILT USA OF TEXAS INC.

MECHANICAL & ELECTRICAL

- 1. VERIFY POWER TO ALL ELECTRICAL EQUIPMENT SUCH AS HVAC, LIGHTING, EMERGENCY, SECURITY, PANTRY AND OFFICE EQUIPMENT.
2. ALL WET AREAS TO RECEIVE GFI OUTLETS
3. PROVIDE GROUND FAULT PROTECTION FOR ELECTRICAL PANELS AND LIGHTING RODS AT ROOF.
4. ALL SWITCHES TO BE INSTALLED AT 48" A.F.F. UNLESS OTHERWISE NOTED.

SITE PLAN KEY NOTES

- 1. SEE CIVIL ENGINEERING DRAWINGS FOR SITE GRADING AND DRAINAGE INCLUDING ALL ADDITIONAL INFORMATION RELATING TO SITE WORK.
2. ALL SITE WORK SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT(ADA) AND THE TEXAS ACCESSIBILITY STANDARD (TAS). NO VERTICAL CHANGES IN ELEVATION GREATER THAN 1/2" IN H/C PARKING ON ROUTE TO INTERIOR OF BULDING(S).

CODE SUMMARY

PERMIT PLAN REVIEW: CITY OF LINDALE 105 BALLARD DR. LINDALE, TEXAS, 75771

BUILDING CODES: ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, SEE THE FOLLOWING:

- 2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL FUEL GAS CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2014 NATIONAL ELECTRICAL CODE

FIRE ALARM THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF A LICENSED FIRE ALARM CONTRACTOR

SIGNAGE SIGNAGE IS UNDER SEPARATE REVIEW AND PERMIT.

SPECIAL INSPECTIONS THE FOLLOWING ITEMS IF APPLICABLE WILL REQUIRE SPECIAL INSPECTION; (PER I.B.C. SECTION 106.11, 106.1.1, PG.5. ALSO SEE STRUCTURAL PLANS FOR ANY ADDITIONAL INFORMATION)

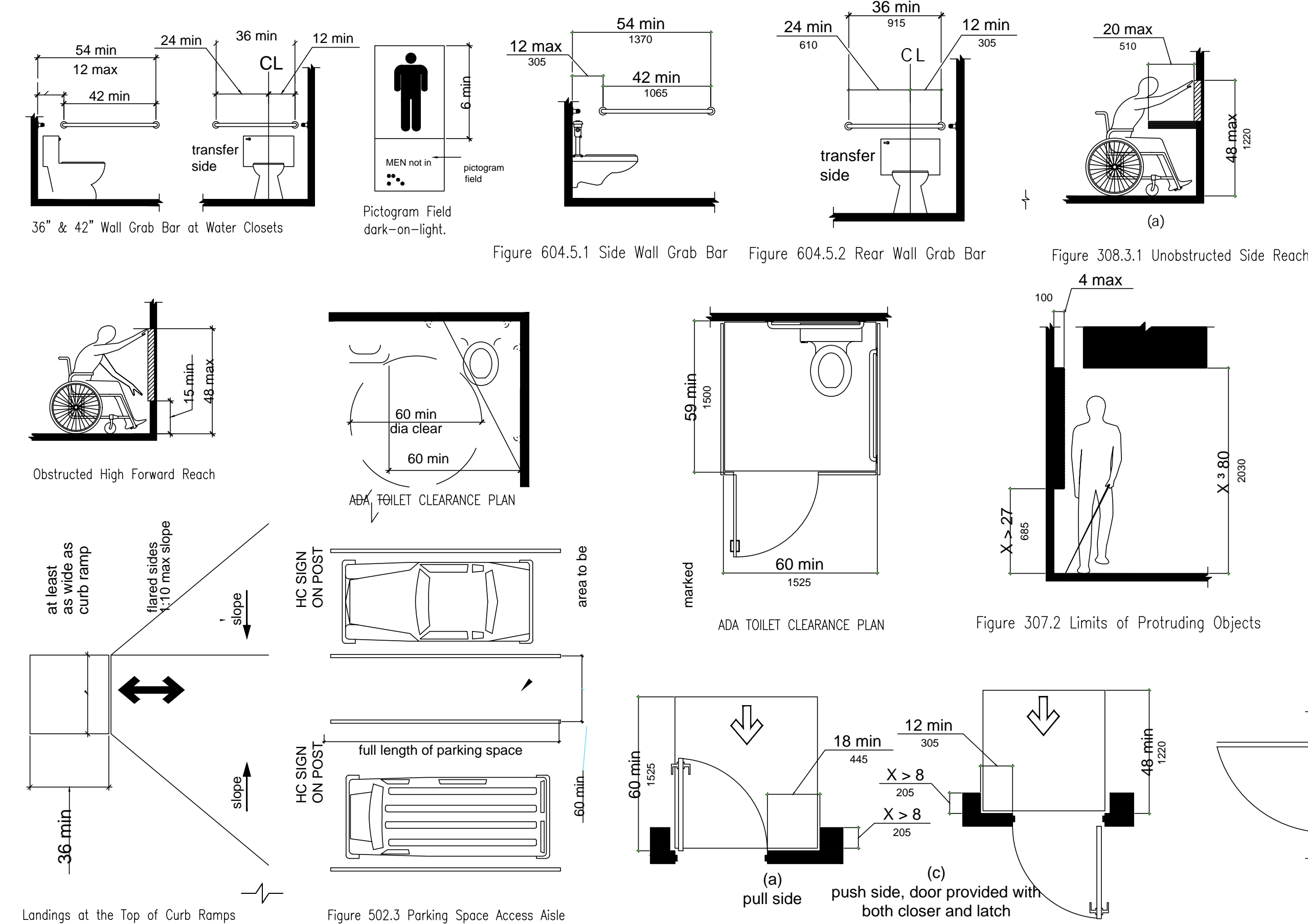
ACCESSIBILITY GENERAL NOTES

- 1. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES, AS REQUIRED BY A.D.A.
2. WALKS & SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" & SHALL BE A MIN. OF 48" IN WIDTH.
3. SURFACES WITH A SLOPE OF 6% GRADIENT OR GREATER SHALL BE SLIP RESISTANT.
4. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT.
5. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2". WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2" ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
6. THRESHOLDS TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
7. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS & 5 LBS. FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
8. PROVIDE LEVER-TYPE HARDWARE PANIC BARS, PUSH - PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.)
9. ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32" CLEAR UNOBSTRUCTED OPENING & A LEVEL & CLEAR AREA FOR A MINIMUM DEPTH OF 60" IN THE DIRECTION OF THE DOOR SWING.
10. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" & 44" ABOVE THE FLOOR. LATCHING & LOCKING DOORS THAT ARE HAND-ACTIVATED & WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER- TYPE HARDWARE, BY PANIC BARS, PUSH/PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
11. GROUND & FLOOR SURFACES ALONG ACCESSIBLE ROUTES & IN ACCESSIBLE ROOMS & SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS & CURB RAMPS, SHALL BE STABLE, FIRM, & SLIP-RESISTANT.
12. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" & 80" ABOVE THE FINISH FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. OBJECTS MOUNTED AT OR BELOW 27" ABOVE FINISH FLOOR MAY PROTRUDE ANY AMOUNT.

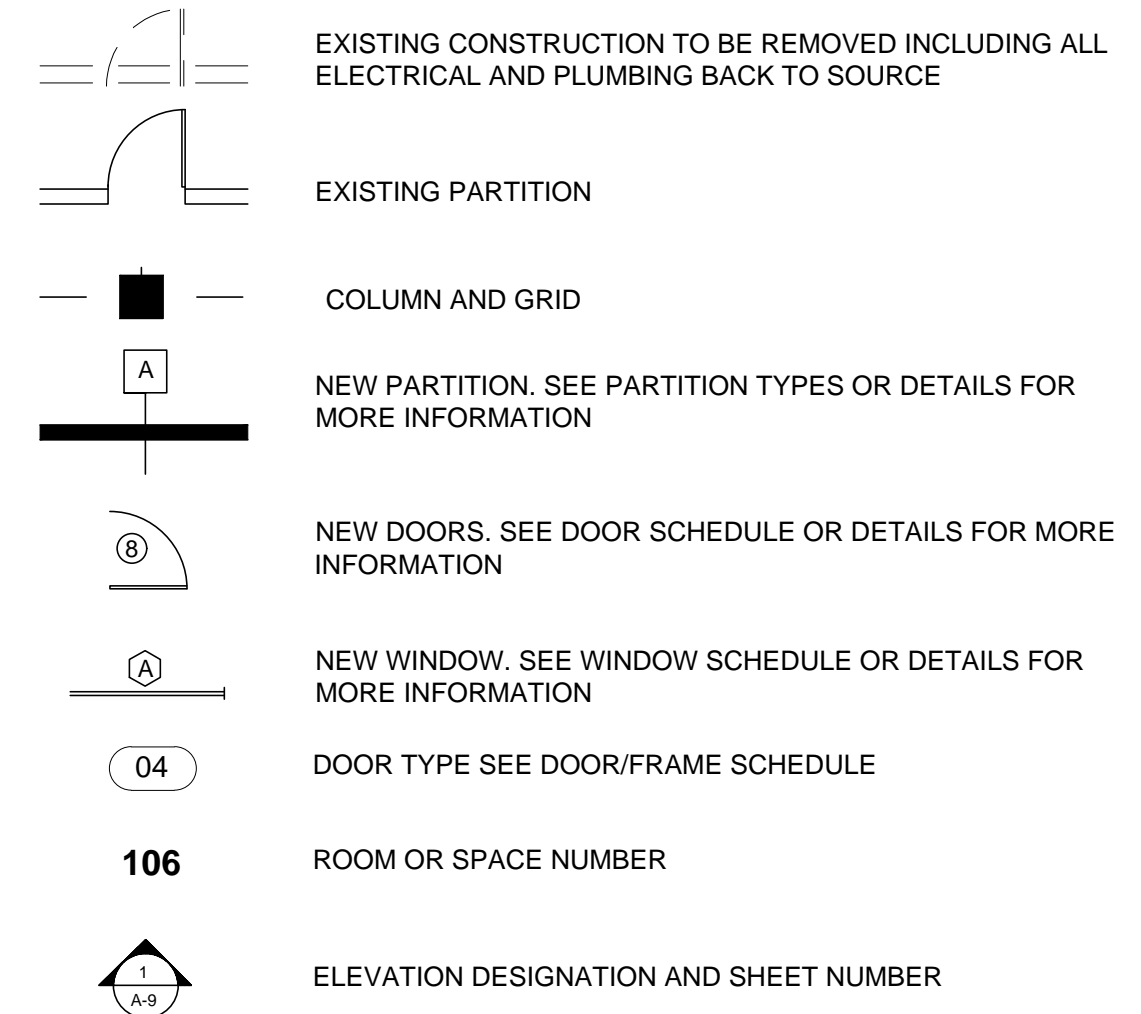
ADA SIGNAGE

- AS PER 2015 IBC: 1011.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS. A SIGN STATING EXIT IN RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT THE EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, EXIT DISCHARGE AND HC TOILETS.

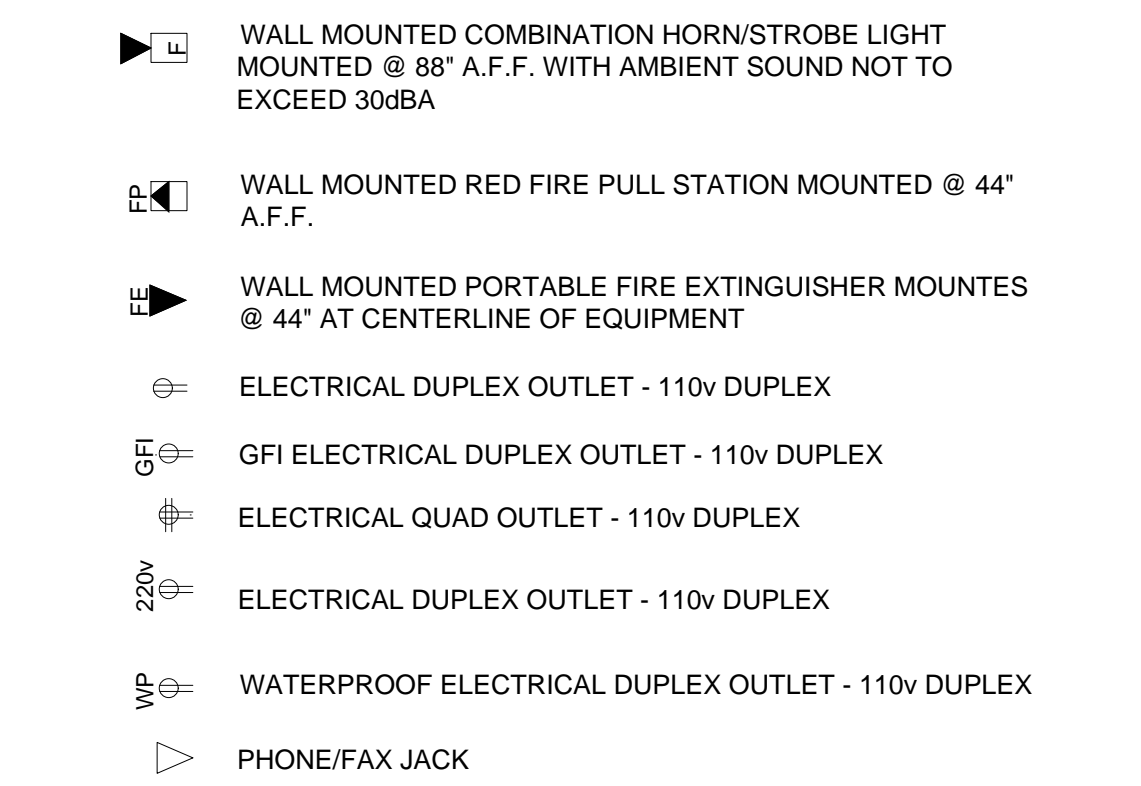
ADA DIAGRAMS



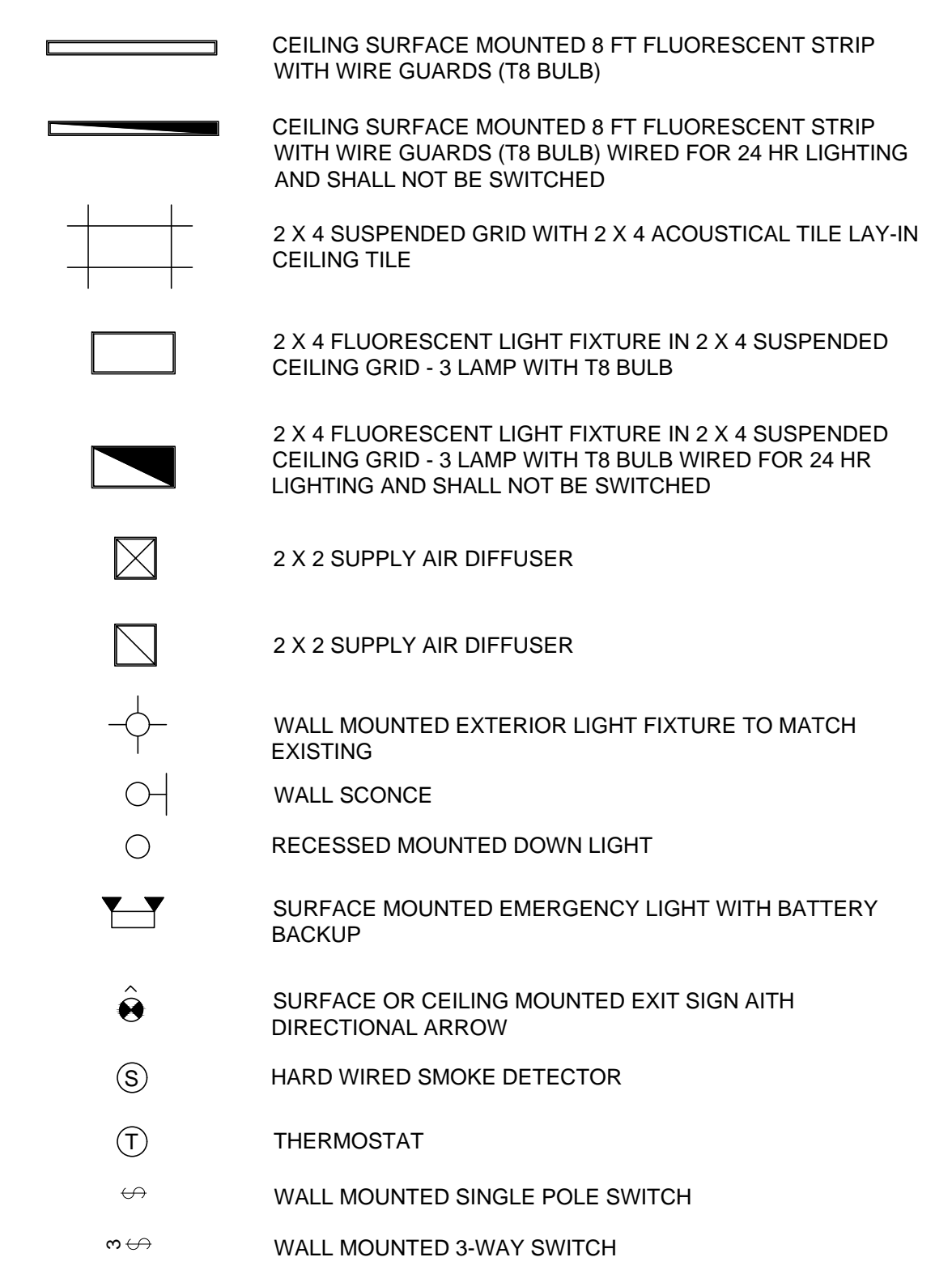
LEGEND - CONSTRUCTION



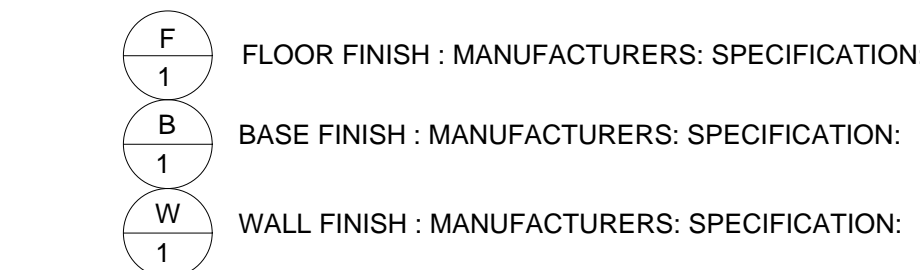
LEGEND - POWER/ ELECTRICAL



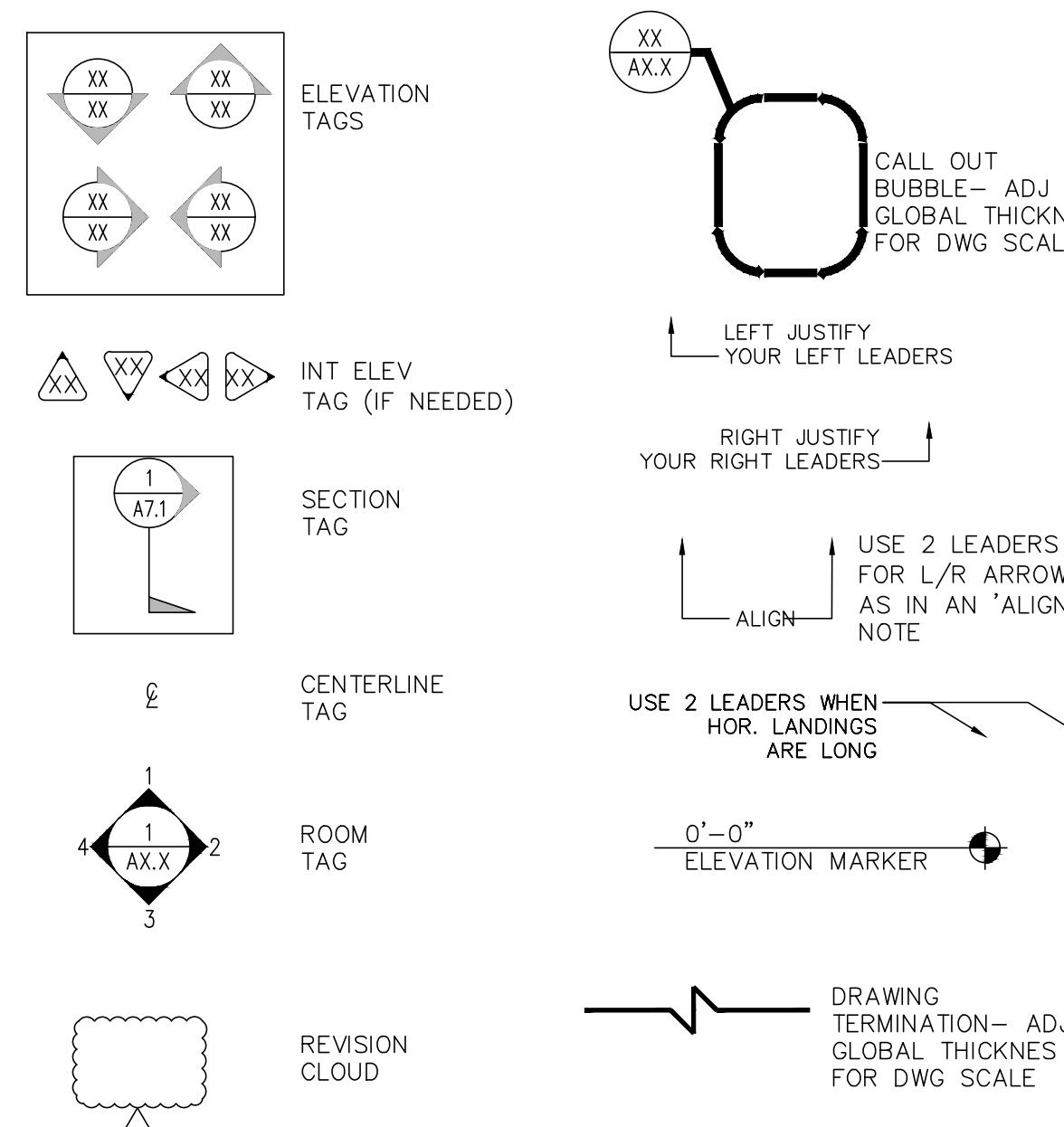
LEGEND - CEILING



LEGEND - FINISH



LEGEND - DRAWING SYMBOLS



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ARCHITECT SEAL SIGNATURE & DATE

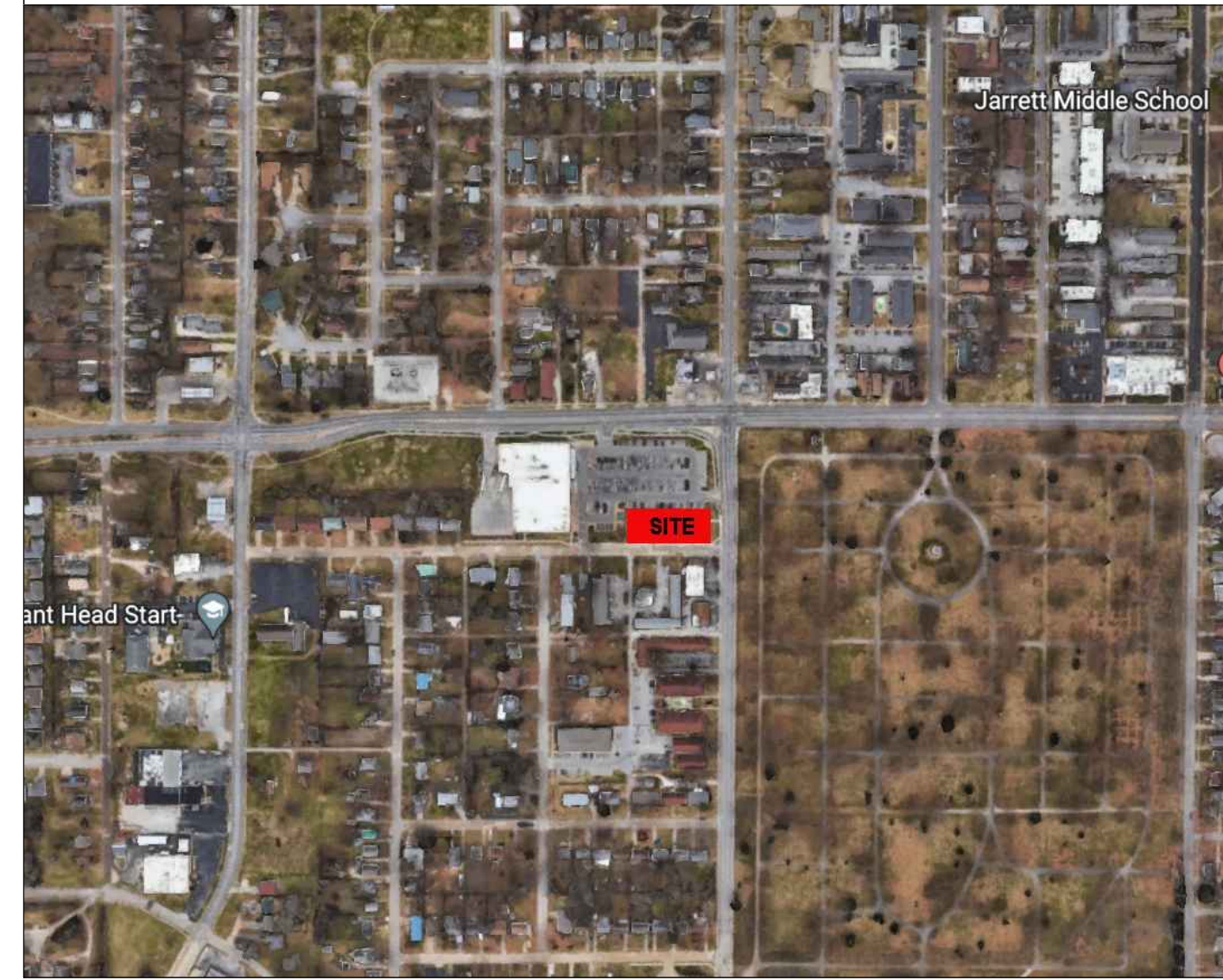
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SHEET TITLE GENERAL NOTES, ADA NOTES & LEGENDS

Project information table: Project 1029 South Campbell Avenue, Springfield, MO; Drawn by BMH AS BUILT USA; Date 07/20/2022; Sheet A1.

LOCATION



ZOOMED LOCATION



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No.	Revision/Issue	Date
3		
2		
1		07/20/22

Real Estate Firm Name and Address

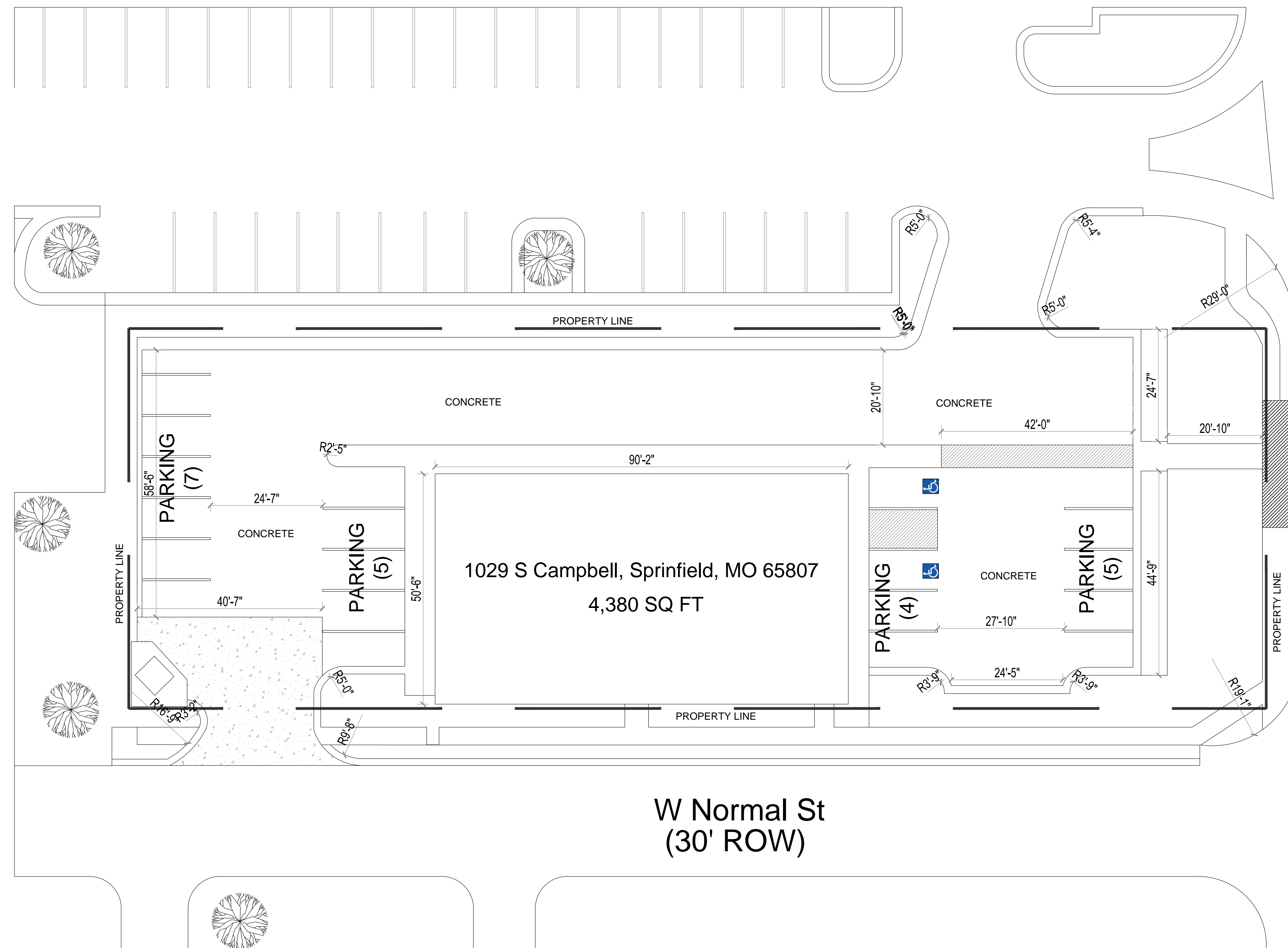
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Project Name and Address

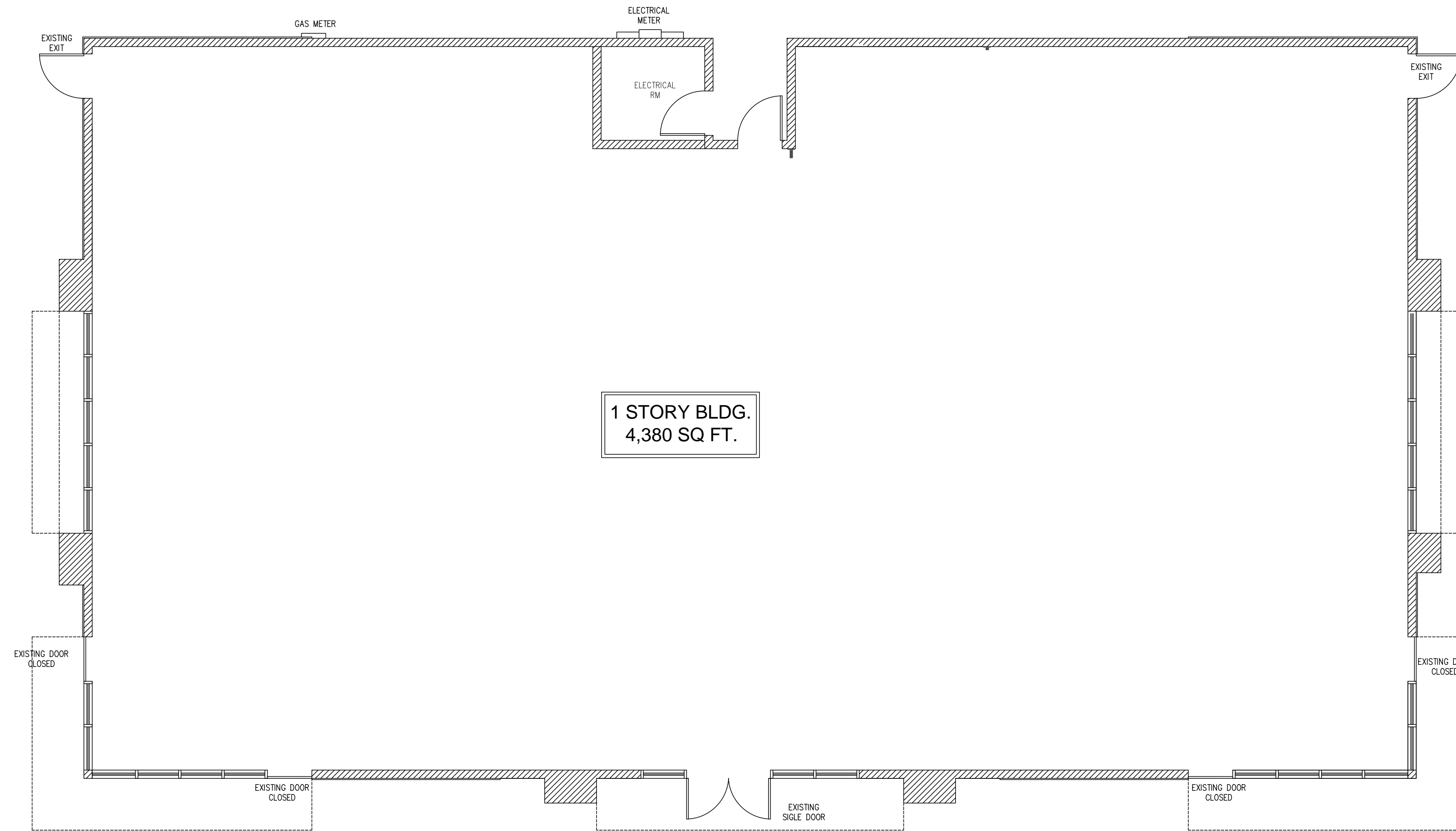
1029 South Campbell Avenue, MO 65807

SHEET TITLE
EXISTING CONDITIONS & SITE PLAN

Project 1029 South Campbell Avenue, Springfield, MO	Sheet
DRAWN BY BMH AS BUILT USA	A2
Date 07/20/2022	



1 **EXISTING CONDITIONS & SITE PLAN**
 SCALE : 1/16"=1'-0"



1

EXISTING FLOOR PLAN

SCALE : 3/16"=1'-0"



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No.	Revision/Issue	Date
3		
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Real Estate Firm Name and Address

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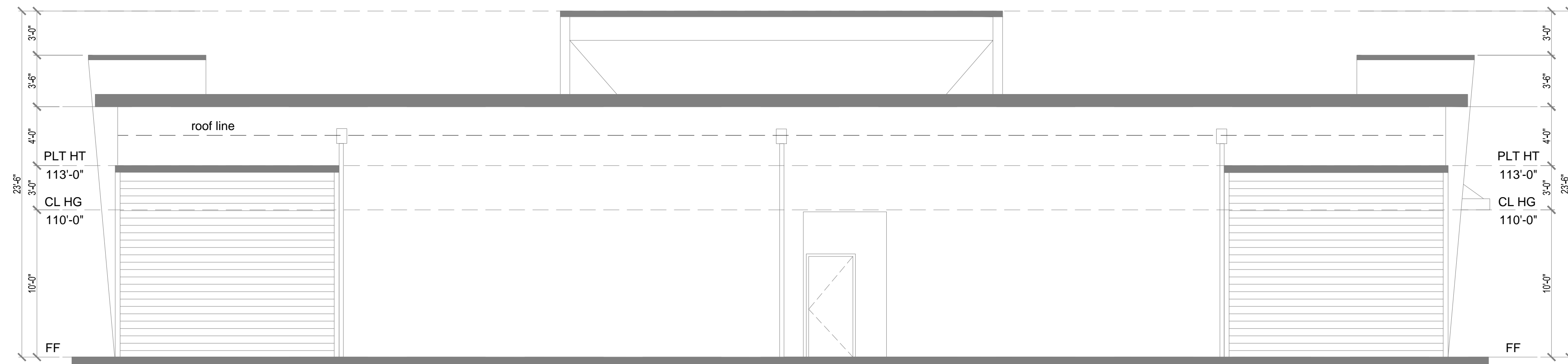
Project Name and Address

1029 South Campbell Avenue,
MO 65807

SHEET TITLE

EXISTING CONDITIONS FLOOR PLAN

Project 1029 South Campbell Avenue, Springfield, MO	Sheet
DRAWN BY BMH AS BUILT USA	A2.2
Date 07/20/2022	



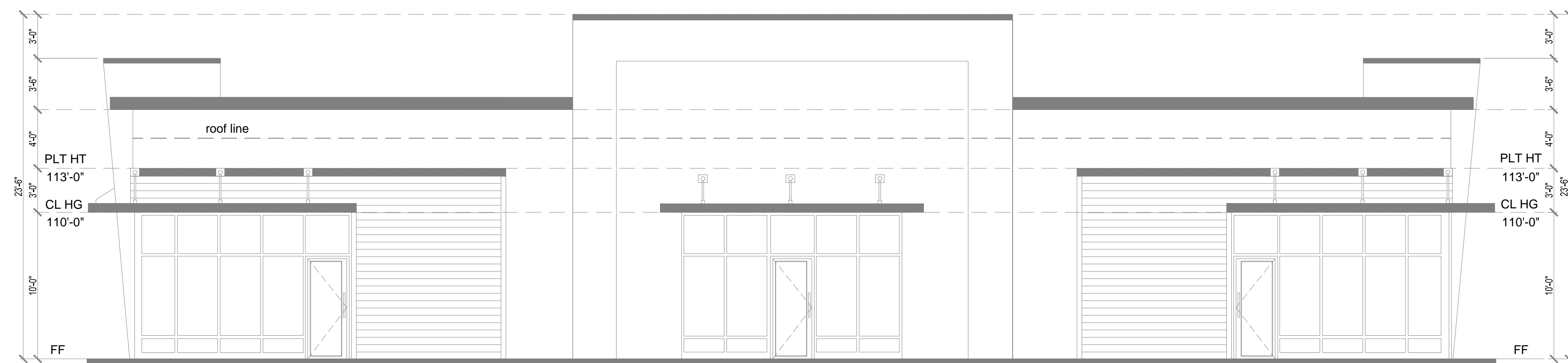
EXISTING SOUTH ELEVATION

SCALE : 3/16"=1'-0"



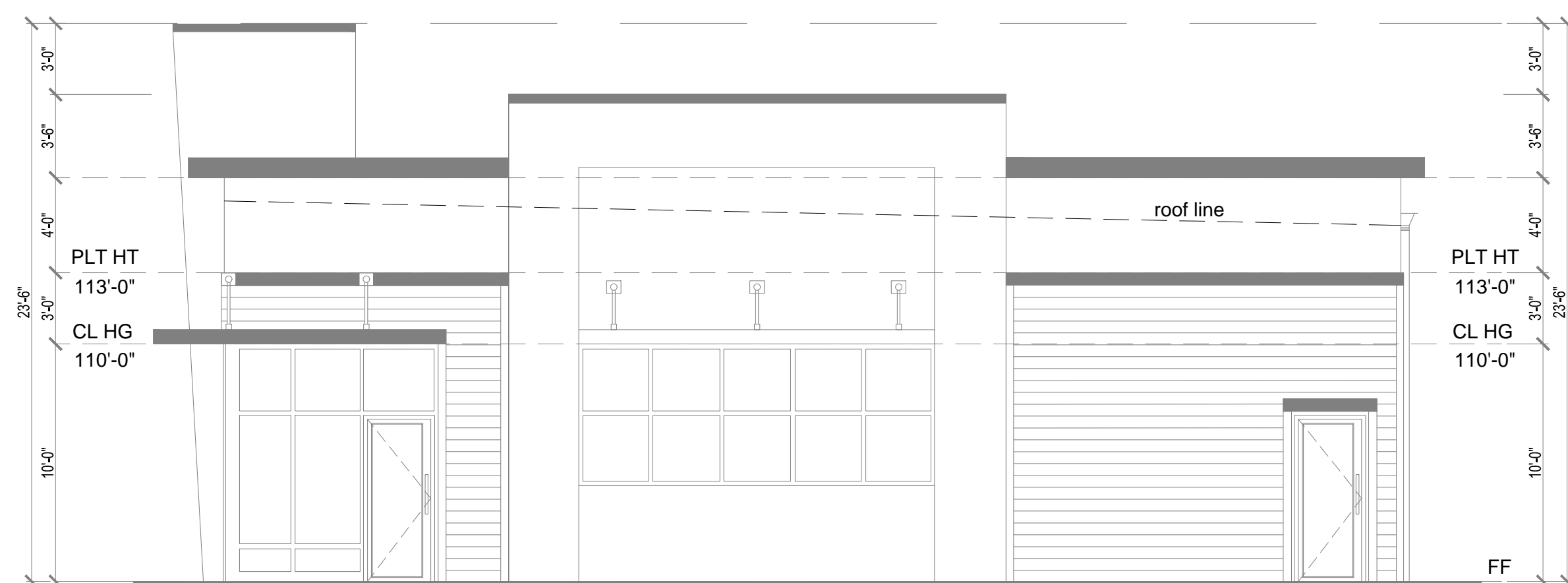
EXISTING EAST ELEVATION

SCALE : 3/16"=1'-0"



EXISTING NORTH SIDE ELEVATION

SCALE : 3/16"=1'-0"



EXISTING WEST ELEVATION

SCALE : 3/16"=1'-0"



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Real Estate Firm Name and Address



Project Name and Address



SHEET TITLE

EXISTING ELEVATIONS

Project 1029 South Campbell Avenue, Springfield, MO	Sheet
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Date: 07/20/2022	

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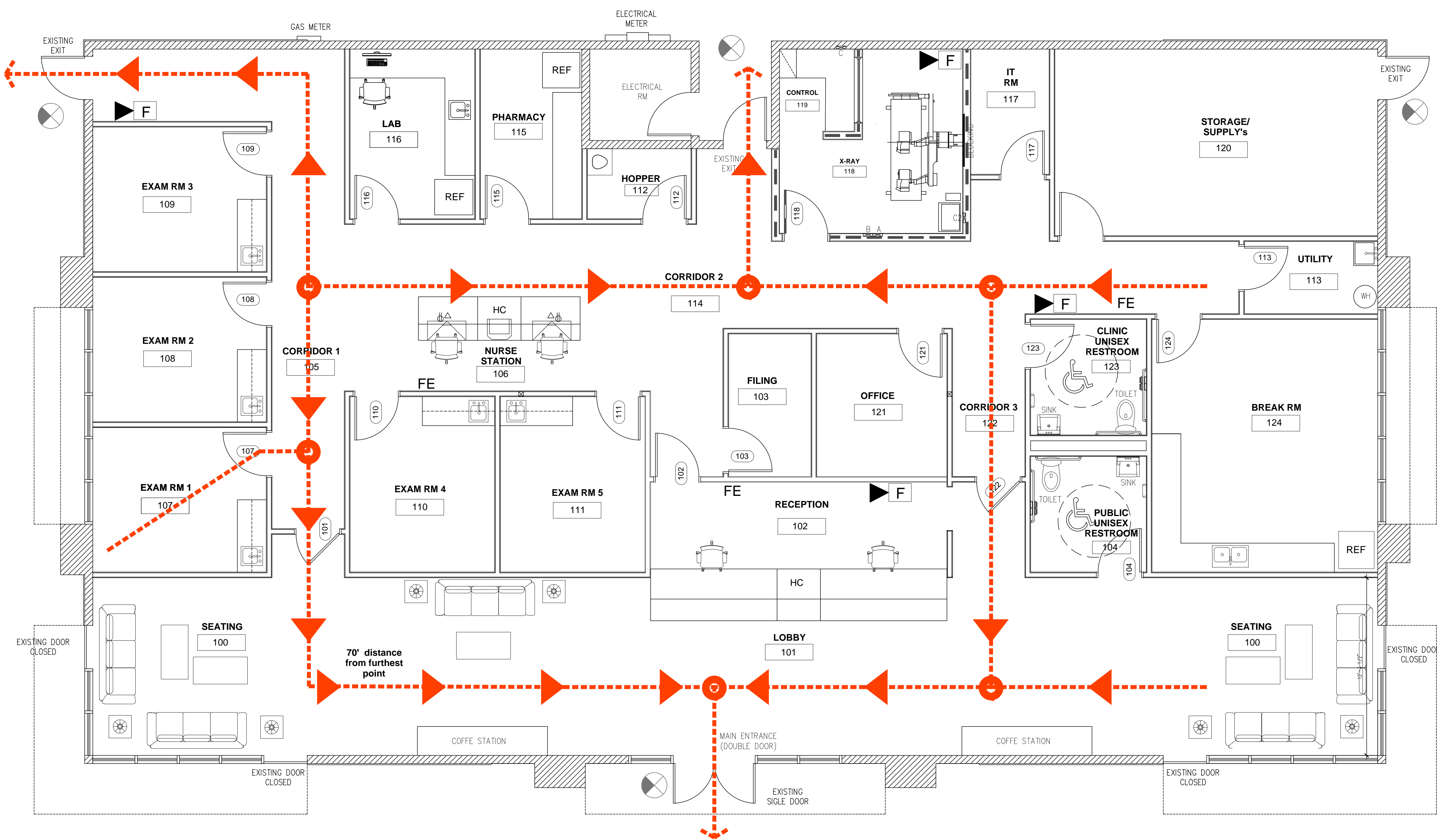
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No.	Revision/Issue	Date
3		
2		
1		07/20/22

1601 ELM STREET DALLAS, TX 75201

Project Name and Address
TOTAL POINT
 URGENT CARE
 1029 South Campbell Avenue,
 MO 65807

SHEET TITLE	
LIFE SAFETY PLAN	
Project 1029 South Campbell Avenue, Springfield, MO	Sheet
Drawn By: BMH AS BUILT USA	A3
Date: 07/20/2022	



1 LIFE SAFETY PLAN
 SCALE : 1/4"=1'-0"

- EGRESS ROUTE TO EXIT
- MAX TRAVEL DIAGONAL DISTANCE
- WALL MOUNTED FIRE EXTINGUISHER
- FIRE ALARM CONTROL PANEL
- WALL MOUNTED RED FIRE PULL STATION 44" AFF
- EXIT SIGN CEILING MOUNTED (REFER TO MEP SHEET FOR MORE INFORMATION)
- EXIT SIGN WALL MOUNTED (REFER TO MEP SHEET FOR MORE INFORMATION)
- 1-HOUR FIRE RATED PARTITION - REFER TO DETAIL (G.1.1.1/02)
- HORN/STROBE LIGHT MOUNTED @ 88" A.F.F. WITH AMBIENT SOUND NOT TO EXCEED 30dBa
- FIRE EXTINGUISHER CABINET (F.E.C.): PER 2015 IFC, SECTION 906 (PROVIDED AND INSTALLED BY G.C.) MANUFACTURER: LARSEN'S FINISH: WHITE BAKED ENAMEL STEEL VERTICAL DUO WITH CLEAR ACRYLIC GLAZING
- DOOR HANDLE : RECESSED
- FIRE EXTINGUISHER: 2A:10BC
- PROVIDE (1) FIRE EXTINGUISHER & CABINET PER 3,000 S.F. (MAX.) WITH LOCATIONS WITH LOCAL FIRE LINDALE INSTALL CABINET SO TOP OF CABINET IS AT +48" A.F.F.

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1601 ELM STREET DALLAS, TX 75201

Project Name and Address

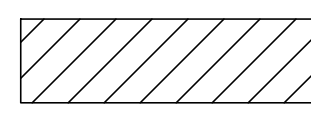
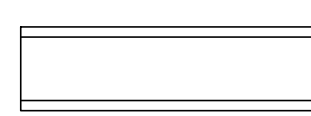


1029 South Campbell Avenue, MO 65807

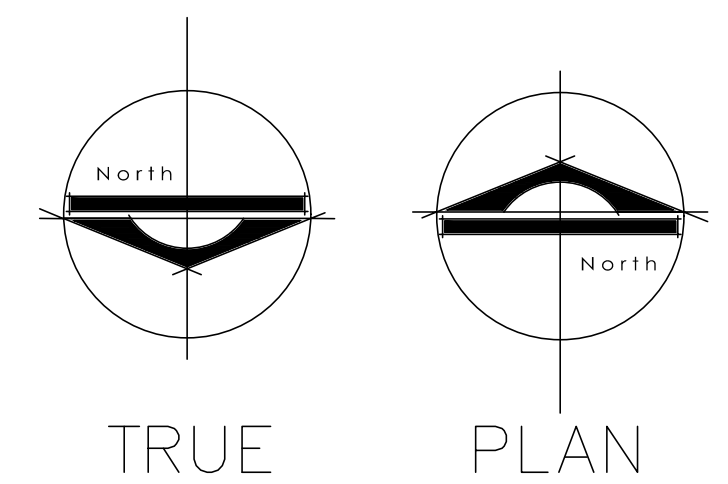
SHEET TITLE	
CONSTRUCTION PLAN	
Project 1029 South Campbell Avenue, Springfield, MO	Sheet
DRAWN BY: BMH AS BUILT USA	A4
Date: 07/20/2022	



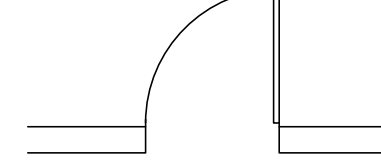
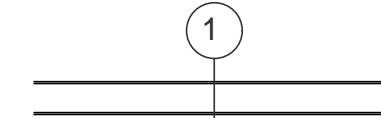
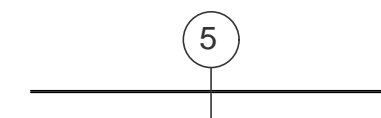

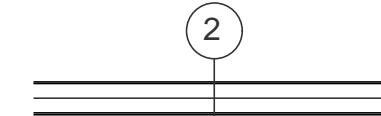
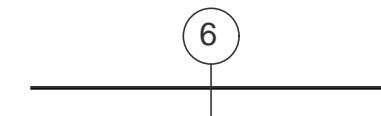
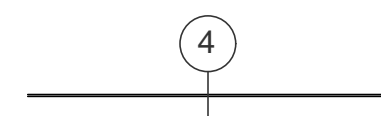
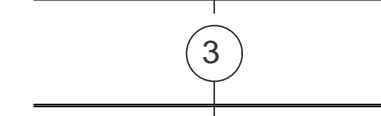
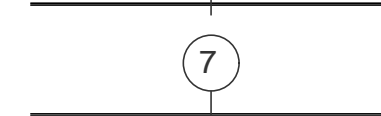

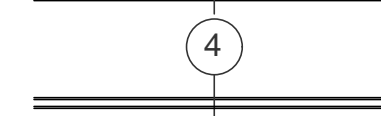
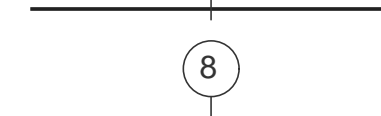
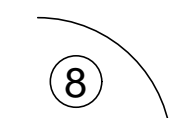
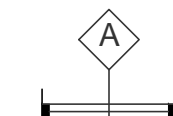
SQ. FT. BUILDING	
EXISTING BUILDING	(4,380 SF)
TOTAL	4,380 SQ. FT.

WALL TYPE LEGEND	
	EXISTING WALLS TO REMAIN
	PROPOSED NEW WALLS

NOTE 1:
 LOCATE 2" X 10" X4' BLOCKING OF HIGH GRADE LUMBER OR EQUIVALENT WITH FINISHED STUDS 70" AFF TO CENTER. BLOCKING MUST ACCOMMODATE MINIMUM OF 700 LBS. OF OUTWARD PULL AT CENTER LINE.



1 CONSTRUCTION PLAN
 SCALE : 1/4"=1'-0"

	NEW DOOR/ WINDOWS AND PARTITION		NEW 4-5/8" STUD (18" OC) WALL		EXISTING OUTER 8" THICK BRICK WALL SEE PARTITION TYPES FOR DETAILS
	COLUMN AND GRID		SEALED. SEE PARTITION TYPES FOR DETAILS		EXISTING 10" THICK PARAPET WALL OF SERVICE ENCLOSURE
	DETAILS FOR MORE INFORMATION		OLD PARTITION WALLS , (REMAIN UNCHANGED) STRUCTURALLY		EXISTING WALLS MODIFIED W/ 1/32 LEAD LINED SHEETROCK 5/8" UP TO 8' AFF
	BATT AND ACOUSTICAL INSULATION		OLD PARTITION WALLS INSIDE WASHROOMS , (REMAIN UNCHANGED) STRUCTURALLY		NEW 4-5/8" STUD (18" OC) WALL W/ 1/32 LEAD LINED SHEETROCK 5/8" UP TO 8' AFF
	DOOR TYPE SEE DOOR/FRAME SCHEDULE		ROOM OR SPACE NUMBER		

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Real Estate Firm Name and Address



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Project Name and Address



1029 South Campbell Avenue, MO 65807

SHEET TITLE

REFLECTED CEILING PLAN

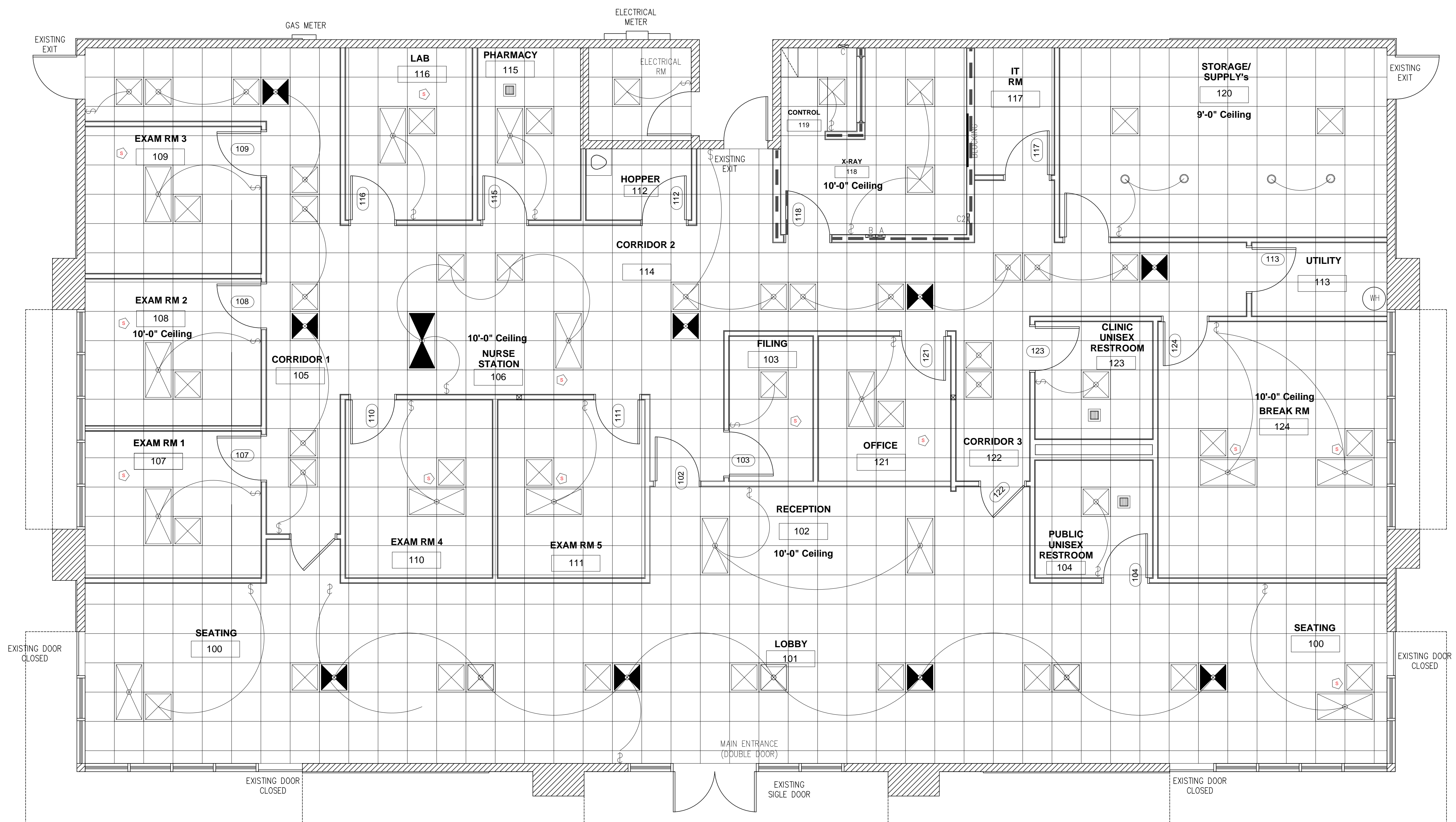
Project 1029 South Campbell Avenue, Springfield, MO

Sheet


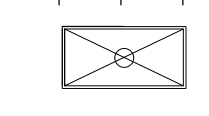
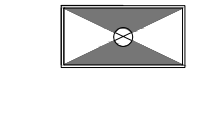
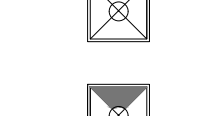
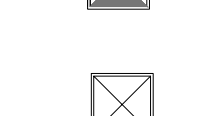
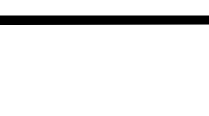







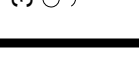

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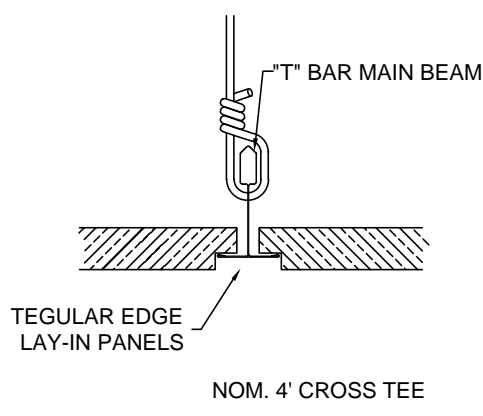
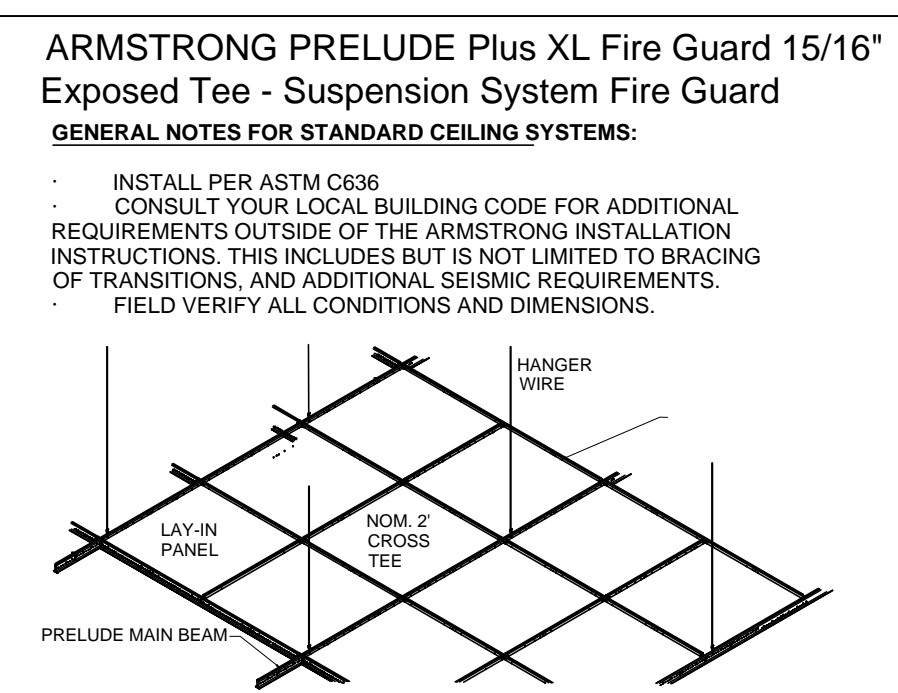
Date: **07/20/2022**

A5



1 REFLECTED CEILING PLAN
SCALE : 1/4"=1'-0"

-  2 X 2 SUSPENDED GRID WITH 2 X 2 ACOUSTICAL TILE LAY-IN CEILING TILE - FIRE RATED SYSTEM
-  2 X 4 LED LIGHT FIXTURE IN 2 X 4 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB
-  2 X 4 LED LIGHT FIXTURE IN 2 X 4 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
-  2 X 2 LED LIGHT FIXTURE IN 2 X 2 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
-  2 X 2 LED LIGHT FIXTURE IN 2 X 2 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
-  2 X 2 SUPPLY AIR DIFFUSER
-  WALL MOUNTED EXTERIOR LED LIGHT FIXTURE
-  RECESSED MOUNTED LED DOWN LIGHT
-  HARD WIRED SMOKE DETECTOR
-  BATHROOM EXHAUST FAN
-  SURFACE MOUNTED EMERGENCY LIGHT WITH BATTERY BACKUP
-  SURFACE OR CEILING MOUNTED LED EXIT SIGN WITH DIRECTIONAL ARROW
-  THERMOSTAT
-  WALL MOUNTED SINGLE POLE SWITCH
-  WALL MOUNTED 3-WAY SWITCH

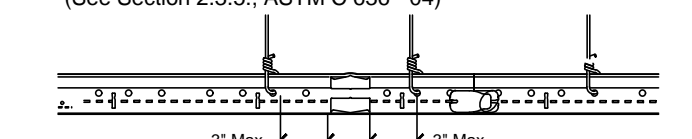


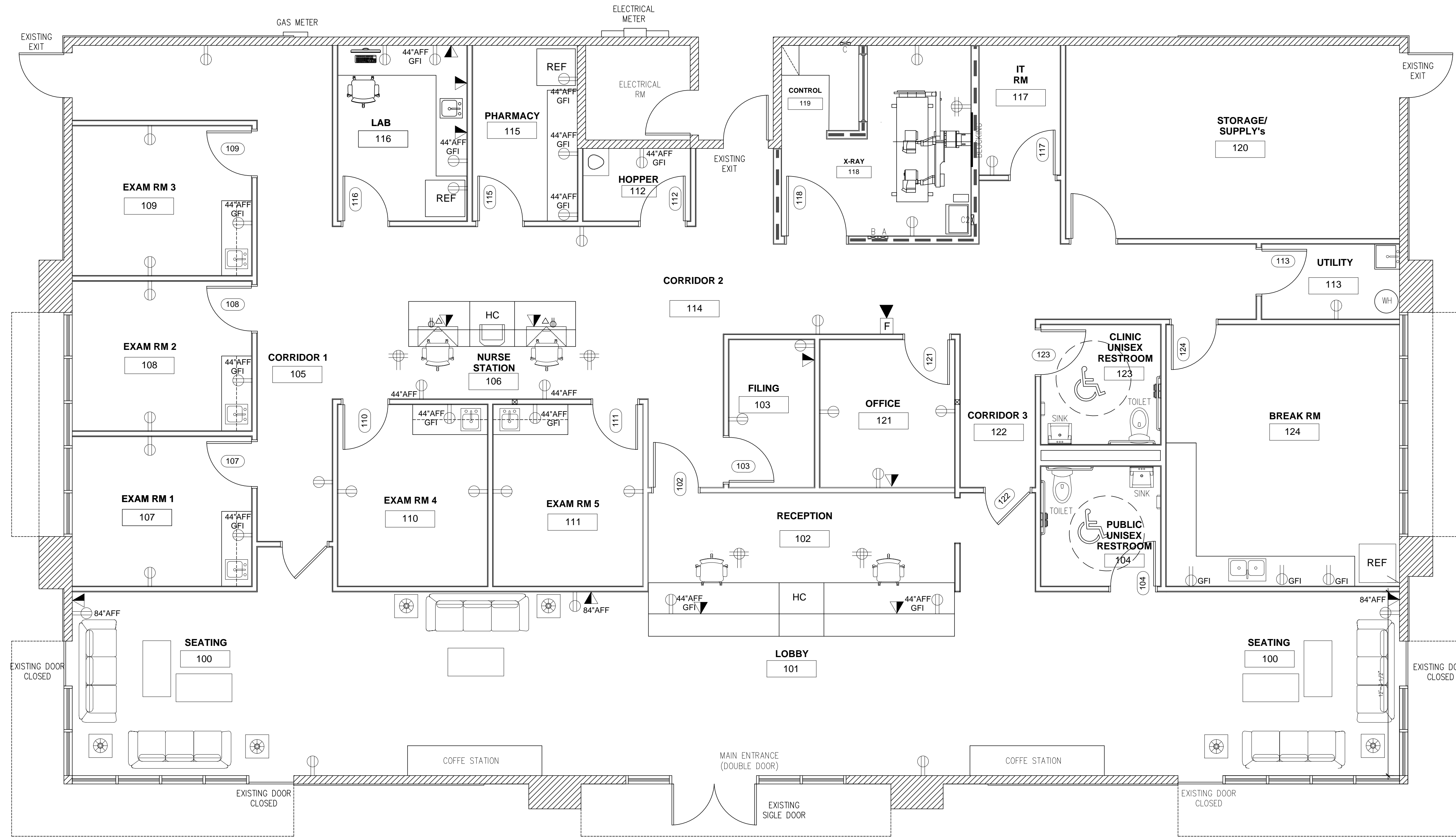
ASTM REQUIREMENTS FOR FIRE RATED MAIN BEAMS (AS REQUIRED BY AHJ)
ASTM C636-04
ASTM Standards changed to ensure load performance of Fire Rated Main Beams

Load performance and installation of fire rated main beams is now specifically addressed in ASTM C-635 and C-636, to ensure load performance along the entire length of a fire rated main beam.

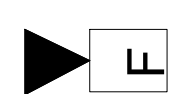

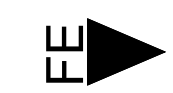
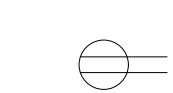
Now requires that the load performance of the fire rated main beams be evaluated if a wire is installed greater than 3" from the fire expansion relief notch. Typically, when the wire is located greater than 3" from the relief notch, the load carrying capability of the main beam is reduced at that location. (See Section 9.1.2., ASTM C 635 - 04)





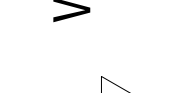
Now requires a wire to be located within 3" of a fire expansion relief notch when a fire rated main beam is installed. This wire placement will maintain the load performance of the main beam along its entire length. If the wire is installed further than 3" from the expansion relief notch, ASTM requires the load performance be evaluated. (See Section 2.3.5., ASTM C 636 - 04)





1 POWER PLAN
SCALE : 1/4"=1'-0"

-  WALL MOUNTED COMBINATION HORN/STROBE LIGHT MOUNTED @ 88" A.F.F. WITH AMBIENT SOUND NOT TO EXCEED 30dBA
-  WALL MOUNTED RED FIRE PULL STATION MOUNTED @ 44" A.F.F.
-  WALL MOUNTED PORTABLE FIRE EXTINGUISHER MOUNTES @ 44" AT CENTERLINE OF EQUIPMENT
-  ELECTRICAL DUPLEX OUTLET - 110v DUPLEX

-  GFI ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
-  ELECTRICAL QUAD OUTLET - 110v DUPLEX
-  ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
-  WATERPROOF ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
-  PHONE/ DATA/ FAX / JACK

ELECTRICAL NOTES:

- 1.0 ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCHED AT TOP ONLY.
- 2.0 ALL SWITCHES TO BE 4'-6" ABOVE FINISH FLOOR TO CENTER LINE OF SWITCHES UNLESS OTHERWISE NOTED.
- 3.0 GANG ALL SWITCHES AND OUTLETS IF POSSIBLE.
- 4.0 VERIFY LOCATION OF POWER TO ALL EQUIPMENT AND APPLIANCES



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SHEET TITLE

POWER PLAN

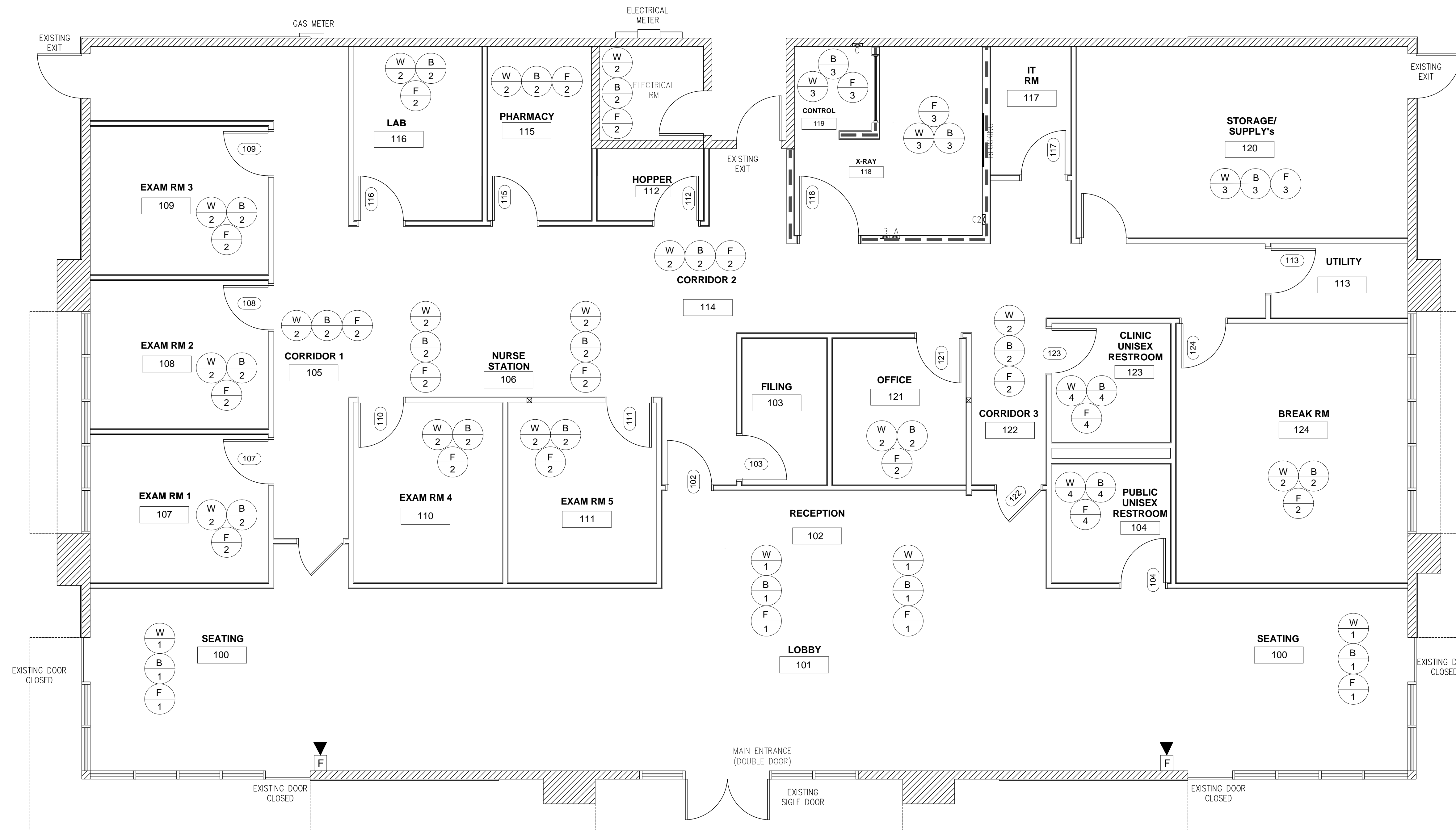
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A6



1 FINISH PLAN

SCALE : 1/4"=1'-0"

SEATING PUBLIC SECTION:

- F 1** FLOOR FINISH : LAMINATE FLOORING
MANUFACTURERS: HOME DEPOT LIFEPROOF LUXURY VINYL PLANK
SPECIFICATION: 8.7 IN X 47.6 IN HEIRLOOM PINE
- W 1** WALL FINISH : PAINT (GYP BD ONLY)
MANUFACTURERS: BENJAMIN MOORE
SPECIFICATION: BONE WHITE EGG SHELL FINISH
- B 1** WALL BASE : 4" VINYL BASE
MANUFACTURERS: HOME DEPOT - ROPPE
SPECIFICATIONS: IVORY

EXAM/CORR OFFICES ETC.

- F 2** FLOOR FINISH : LAMINATE FLOORING
MANUFACTURERS: HOME DEPOT LIFEPROOF LUXURY VINYL PLANK
SPECIFICATION: 8.7 IN X 47.6 IN HEIRLOOM PINE
- W 2** WALL FINISH : PAINT (GYP BD ONLY)
MANUFACTURERS: BENJAMIN MOORE
SPECIFICATION: BONE WHITE EGG SHELL FINISH
- B 2** WALL BASE : 4" VINYL BASE
MANUFACTURERS: HOME DEPOT - ROPPE
SPECIFICATIONS: IVORY

CT/ XRAY/ CONTROL RM

- F 3** FLOOR FINISH : LAMINATE FLOORING
MANUFACTURERS: HOME DEPOT LIFEPROOF LUXURY VINYL PLANK
SPECIFICATION: 8.7 IN X 47.6 IN HEIRLOOM PINE
- W 3** WALL FINISH : PAINT (GYP BD ONLY)
MANUFACTURERS: BENJAMIN MOORE
SPECIFICATION: BONE WHITE EGG SHELL FINISH
- B 3** WALL BASE : 4" VINYL BASE
MANUFACTURERS: HOME DEPOT - ROPPE
SPECIFICATIONS: IVORY

TOILETS/HOPPER

- F 4** CERAMIC TILE
MANUFACTURERS: DAL TILE.
12 X 12 SUBWAY PATTERN
- W 4** WALL FINISH : VINYL PANELS FULL HGT
MANUFACTURERS: TBD
SPECIFICATION: WHITE
- B 4** WALL BASE : 4" VINYL BASE
MANUFACTURERS: ROPPE
SPECIFICATIONS: T.B.D.

MILLWORK

- 1 EXAM ROOM
COUNTERTOPS W/CABINETS
BELOW & OVERHEAD CABINETS ABOVE.
SINK IS INCLUDED UNLESS NOTED
OTHERWISE ON PLAN
- 2 RECEPTION/ BUSINESS COUNTER DESK
COUNTERTOP AND TRANSACTION
CABINETS BELOW, ALL OPEN ABOVE
COUNTERTOP.
- 3 NURSES STATION,
COUNTERTOP AND TRANSACTION
CABINETS BELOW, ALL OPEN ABOVE
COUNTERTOP.
- 4 LAB STATION, COUNTERTOPS W/CABINETS
BELOW & OVERHEAD CABINETS ABOVE.
SINK IS INCLUDED

SEE DWG A13
FOR ALL MILLWORK
DETAILS

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Building with Confidence

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TJKZ CONSTRUCTION

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TOTAL POINT URGENT CARE

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SHEET TITLE

FINISH PLAN

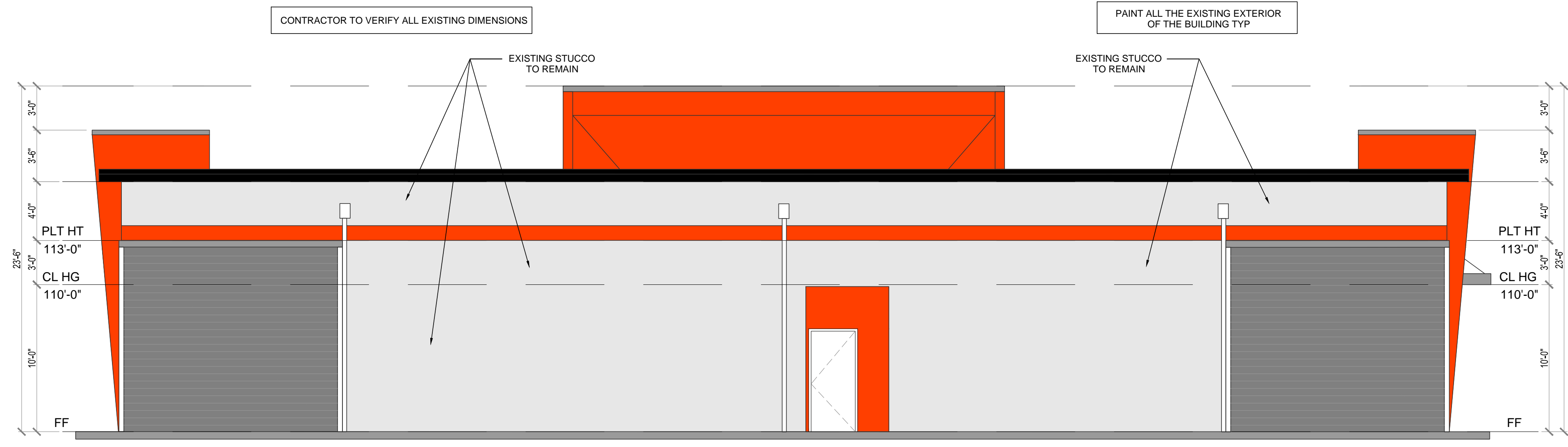
Project 1029 South Campbell Avenue, Springfield, MO

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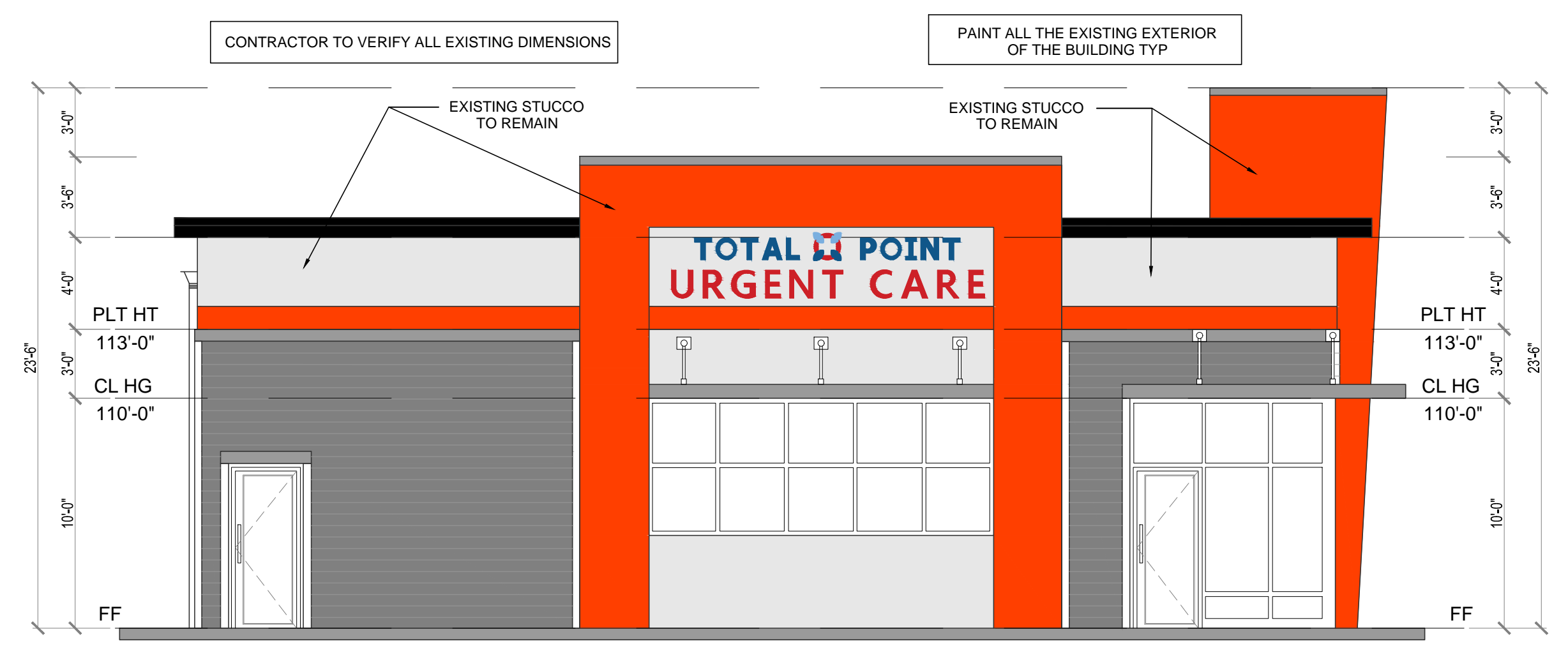
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A7



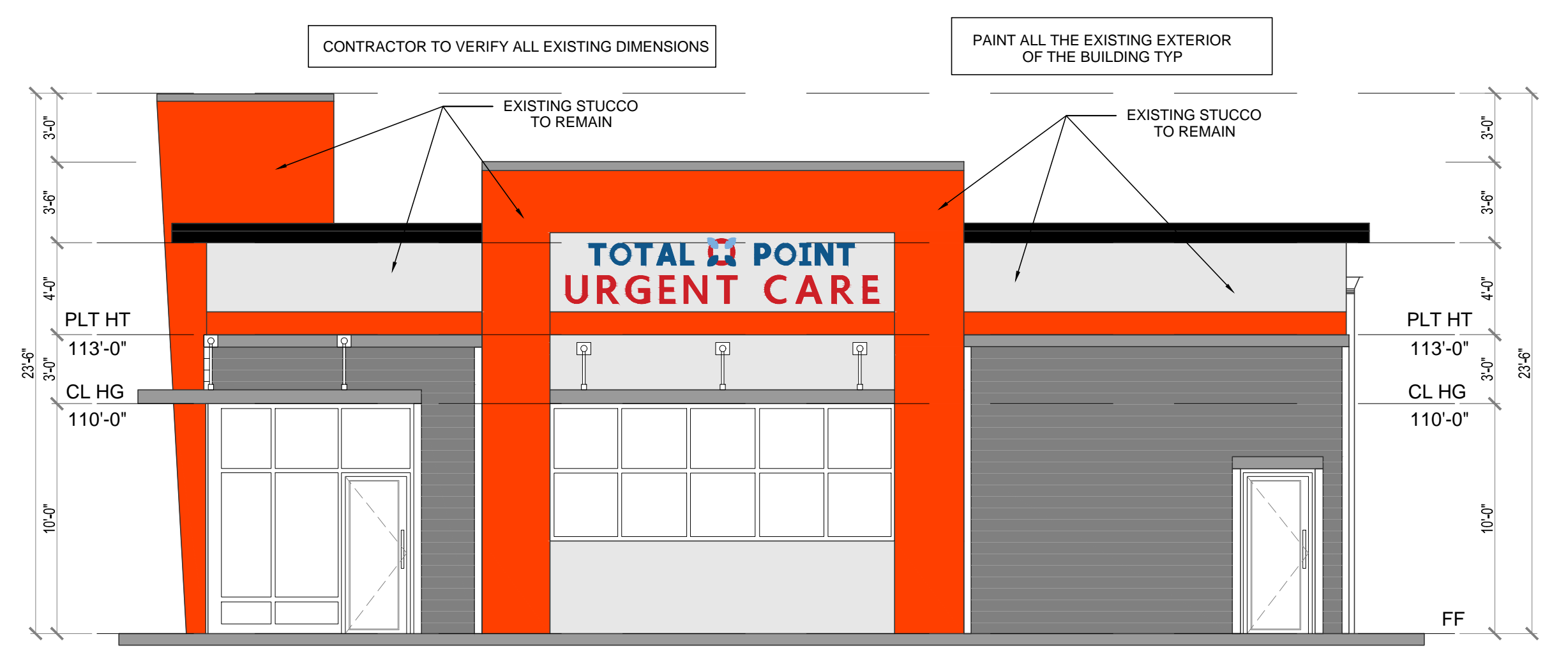
1 NEW SOUTH ELEVATION
SCALE : 3/16"=1'-0"



2 NEW EAST ELEVATION
SCALE : 3/16"=1'-0"



3 NEW NORTH SIDE ELEVATION
SCALE : 3/16"=1'-0"



4 NEW WEST ELEVATION
SCALE : 3/16"=1'-0"



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SHEET TITLE
ELEVATIONS

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SHEET TITLE
INTERIOR DOOR SCHEDULE

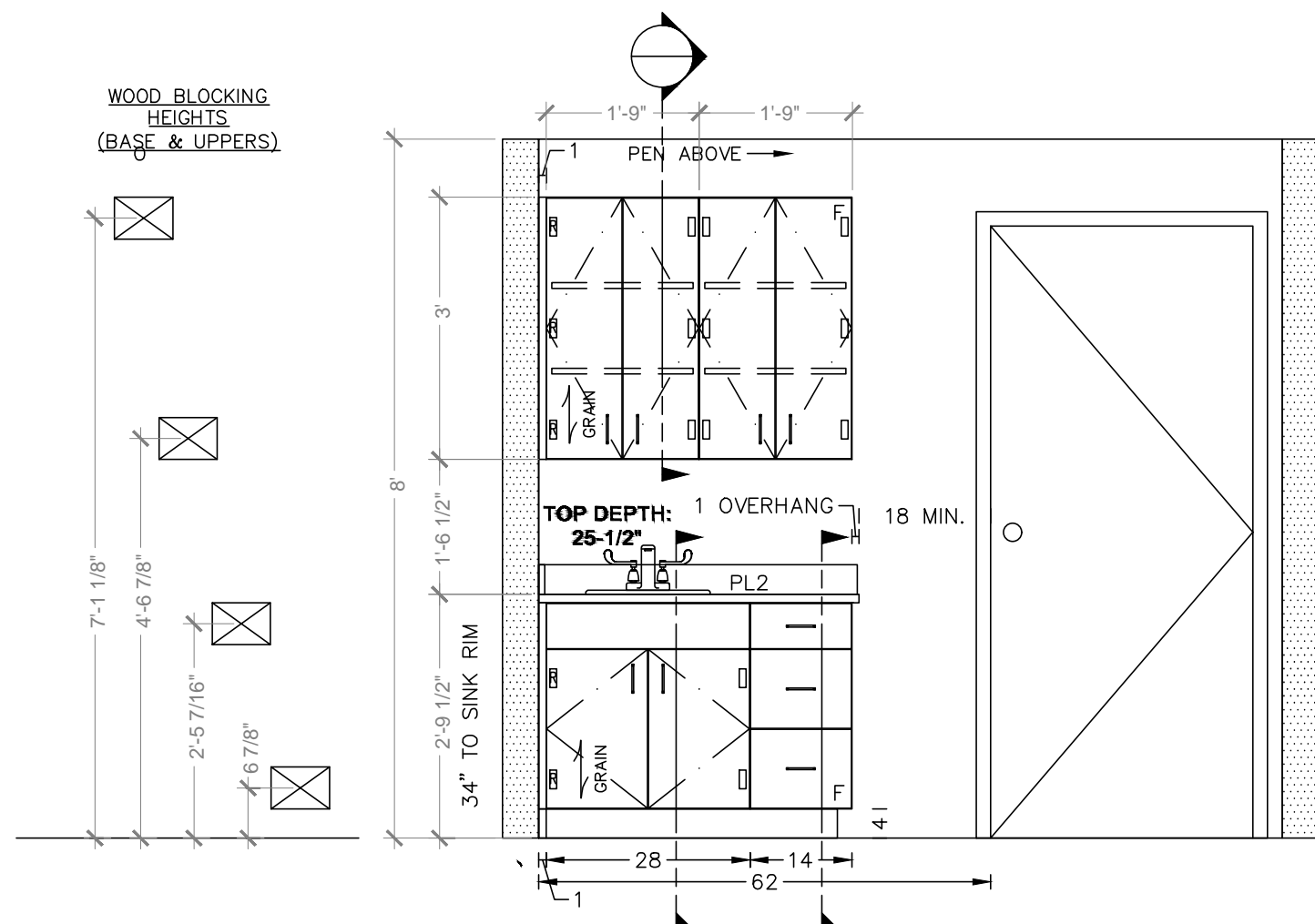
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DRAWN BY BMH AS BUILT USA	A10
Date 07/20/2022	

DOOR SCHEDULE

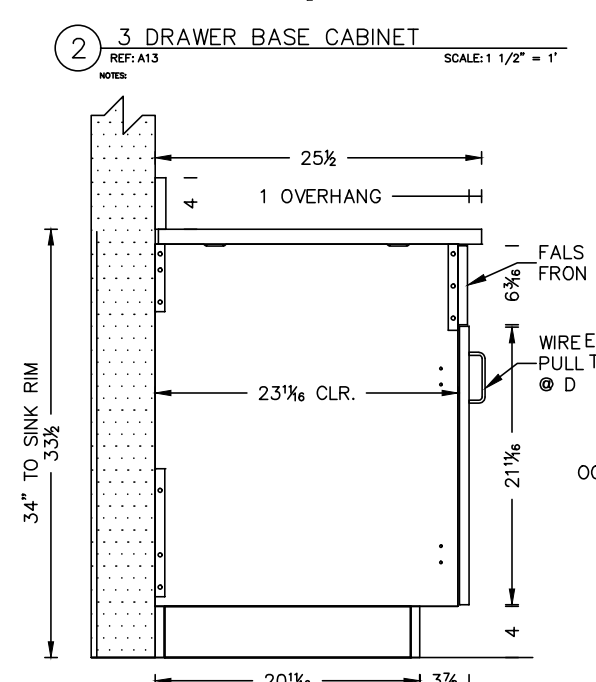
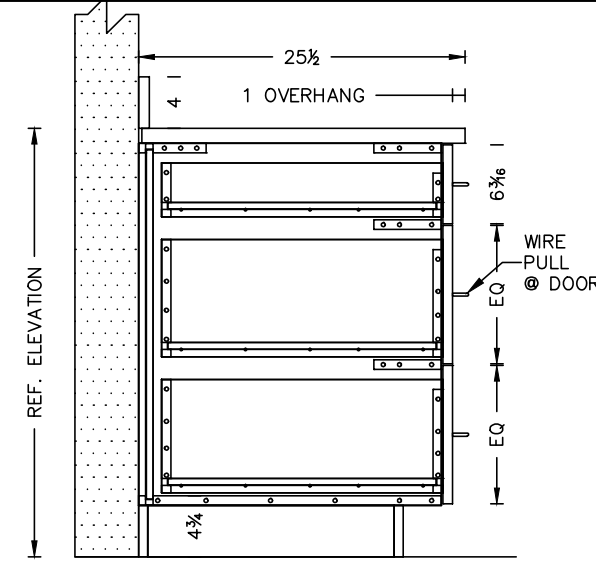
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					TYPE	MAT	FINISH	STYLE	MATERIAL	FINISH	TYPE		
101	3'-0"	7'-0"	1 3/4"	1 hour	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset door closer panic hdwr, 1hr fire rated
102	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
103	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
104	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
107	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
108	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
109	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
110	2'-8"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
111	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
112	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
113	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
115	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset dr closer
116	3'-0"	7'-0"	1 3/4"	—	B	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset dr closer
117	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
118	3'-0"	7'-0"	1 3/4"	—	D	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lead lined door closer
120	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
121	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
122	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
123	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
124	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset

DOOR TYPES

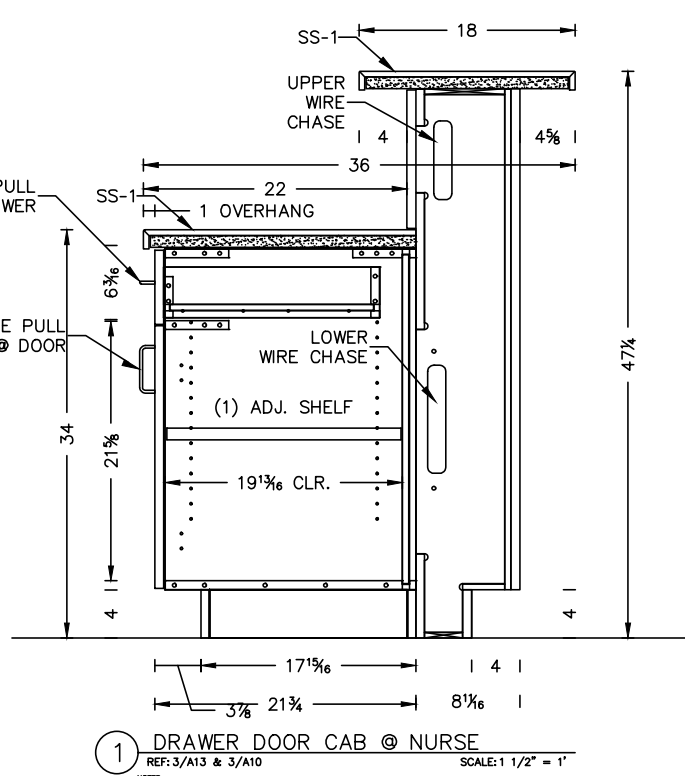
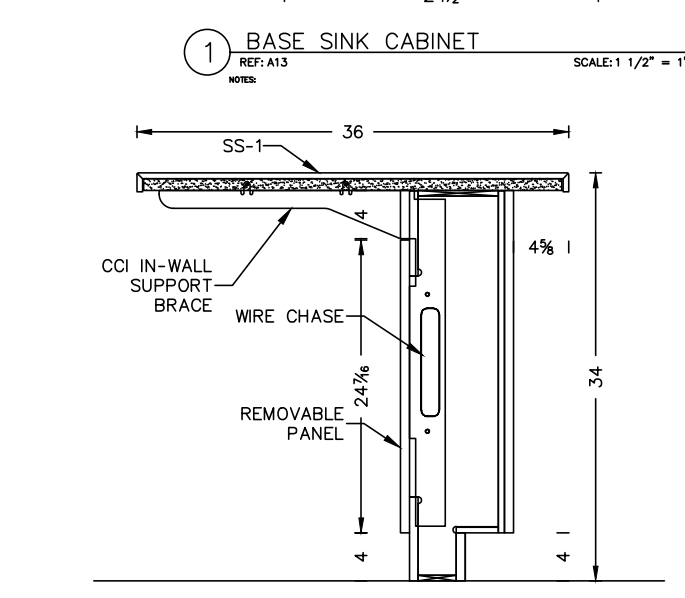
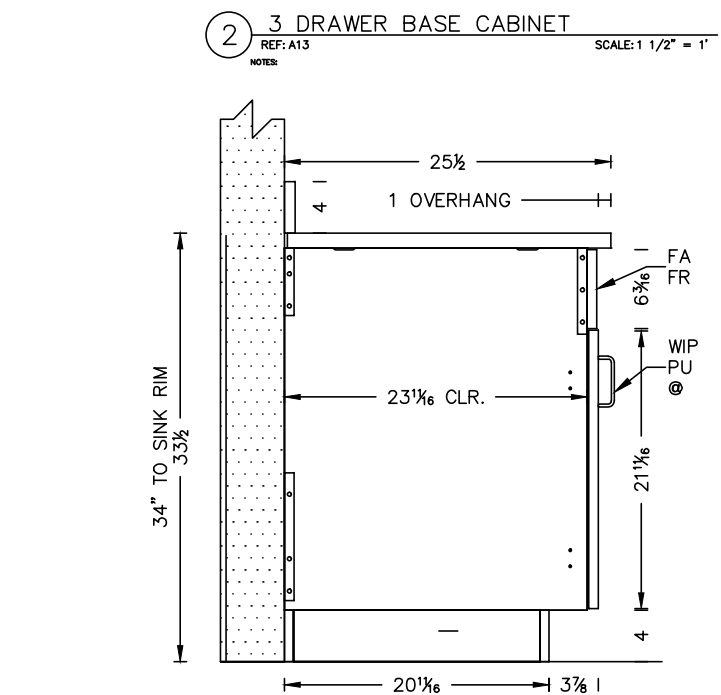
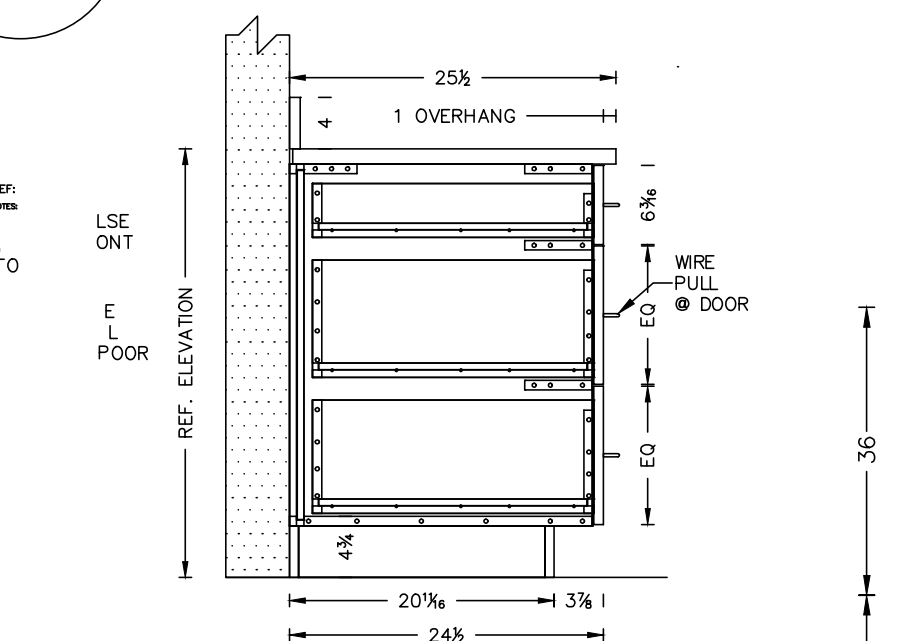
<p>TYPE-A DOOR SOLID CORE WD DOOR WITH S.S. KICK PLATE</p> <p>HARDWARE: LOCKSET</p>	<p>TYPE-B DOOR SOLID CORE WD DOOR WITH 1" ISULATED HALF LITE GLAZING</p> <p>HARDWARE: LOCKSET</p>	<p>TYPE-C DOOR SOLID CORE WD DOOR WITH S.S. KICK PLATE</p> <p>HARDWARE: LOCKSET</p>	<p>TYPE-D DOOR SOLID CORE WD DOOR (LEAD LINED AT DOOR)</p> <p>HARDWARE: LOCKSET</p>
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1 TYPICAL EXAM ROOM
REF: 6/A13 AREA: SCALE: 1/2" = 1'



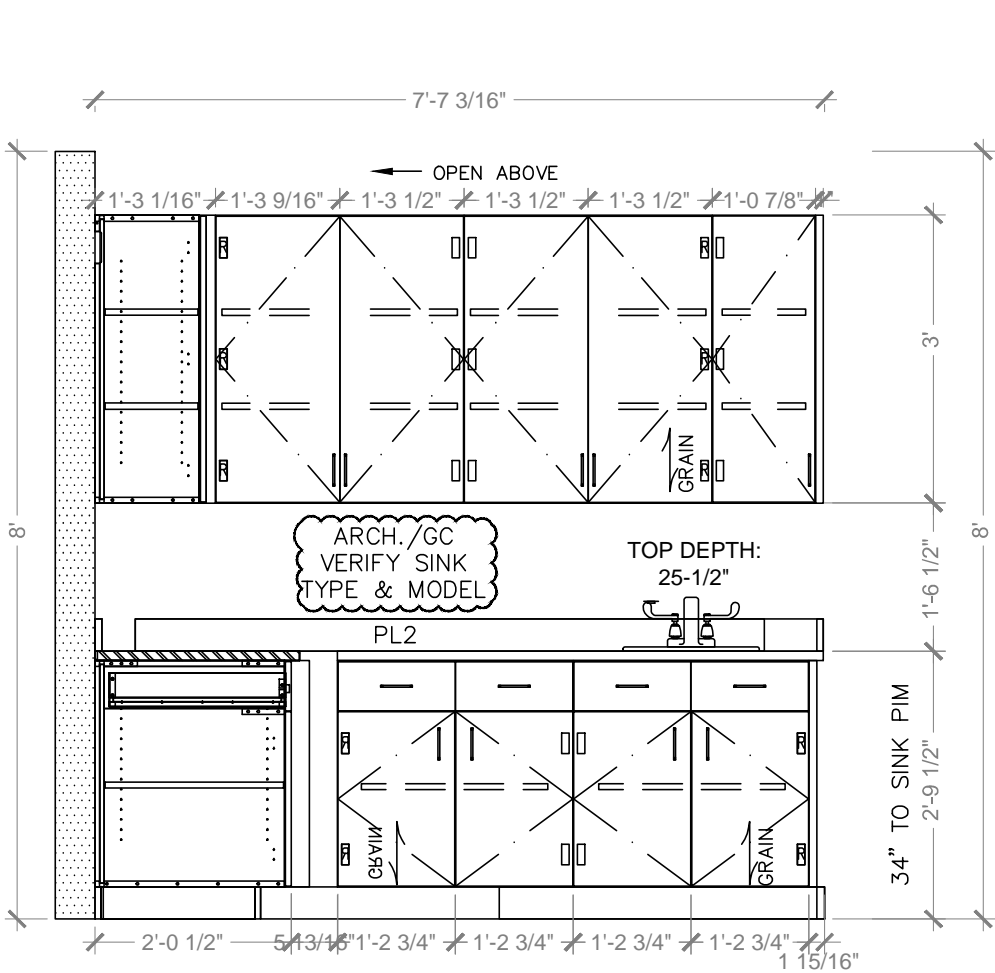
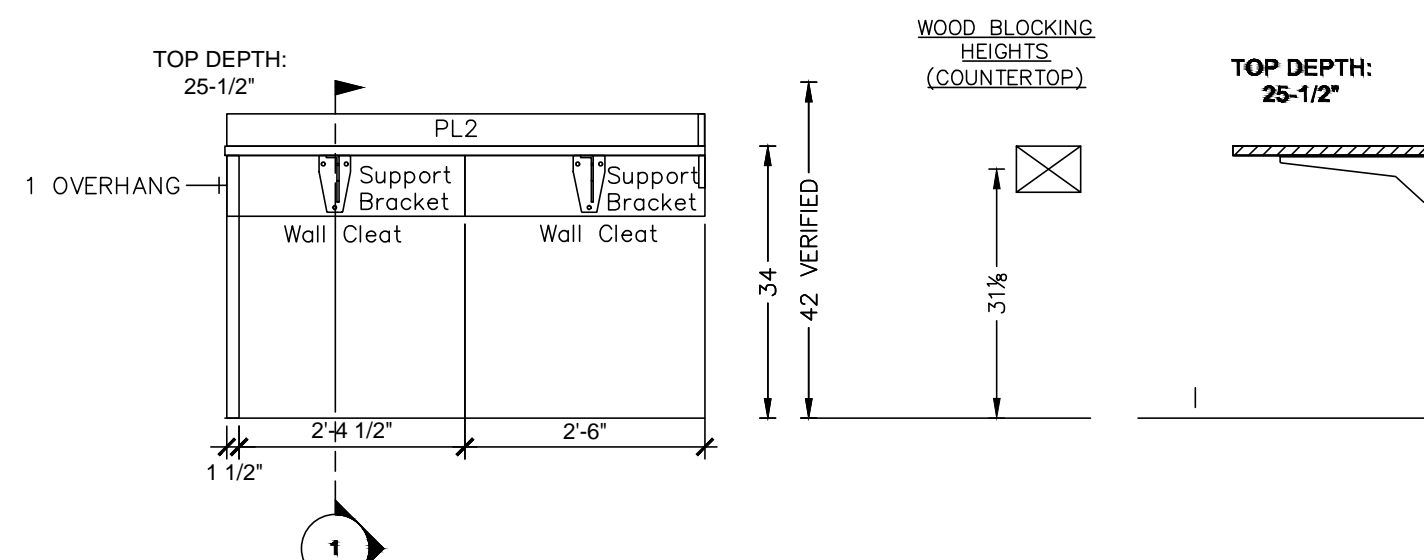
2 SEATING - COFFEE BAR
REF: N/A AREA: SCALE: 1/2" = 1'



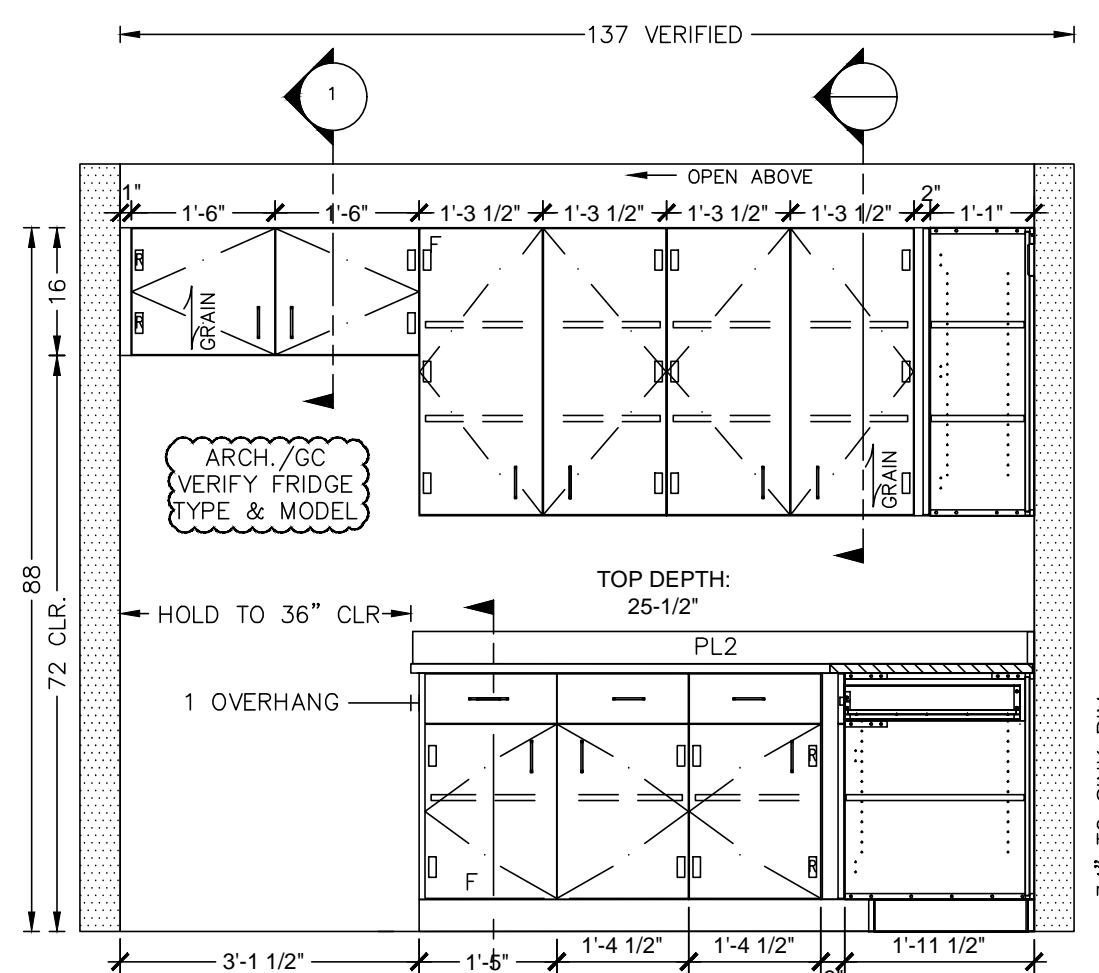
1 DRAWER DOOR CAB @ NURSE
REF: N/A & V/A SCALE: 1/2" = 1'

2 LOWER BASE CABINET
REF: N/A SCALE: 1/2" = 1'

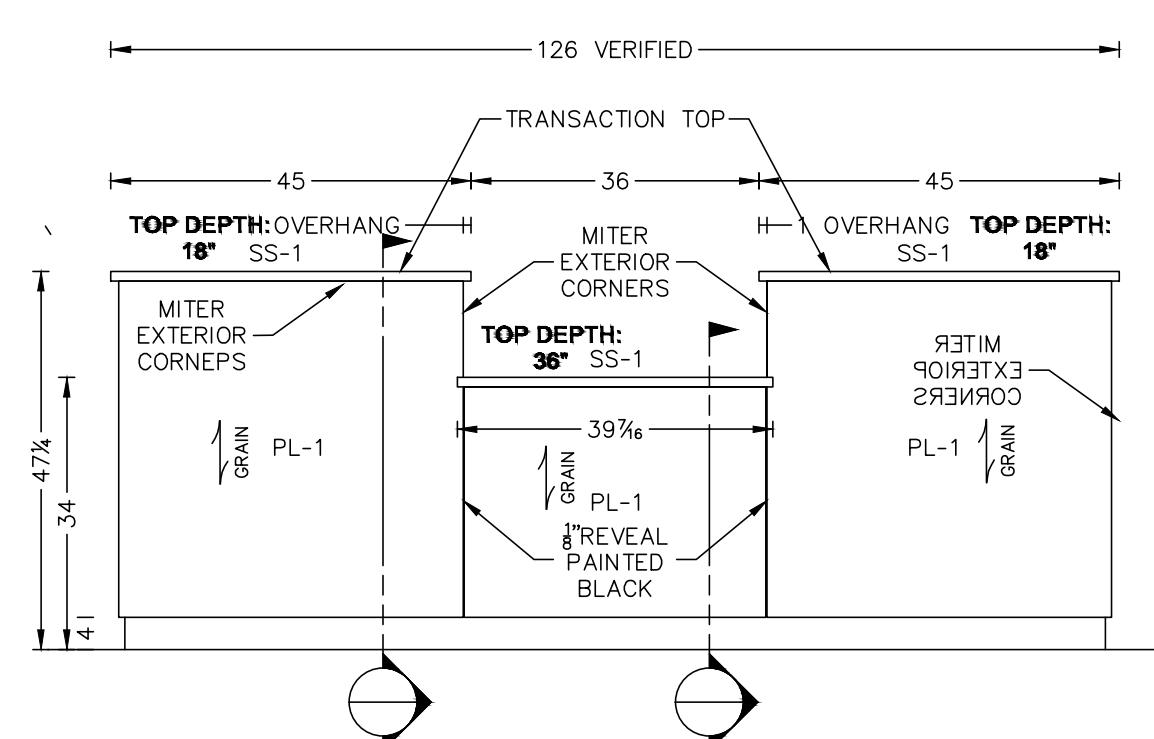
3 CONTROL
REF: A8 AREA: SCALE: 1/2" = 1'



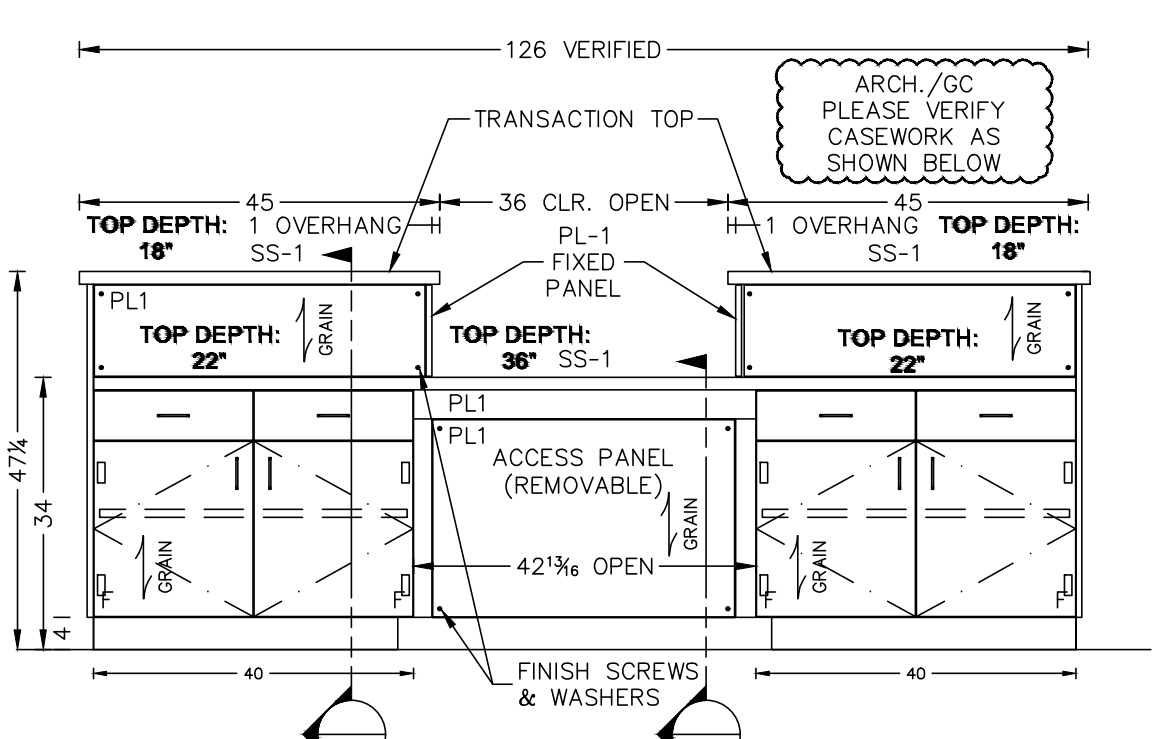
4 LAB
REF: 4/A13 AREA: QTY: 1 SCALE: 1/2" = 1'



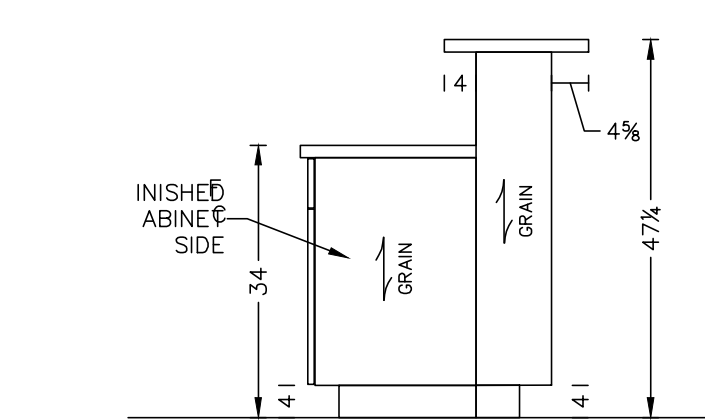
LAB
REF: 5/A8 AREA: QTY: 1 SCALE: 1/2" = 1'



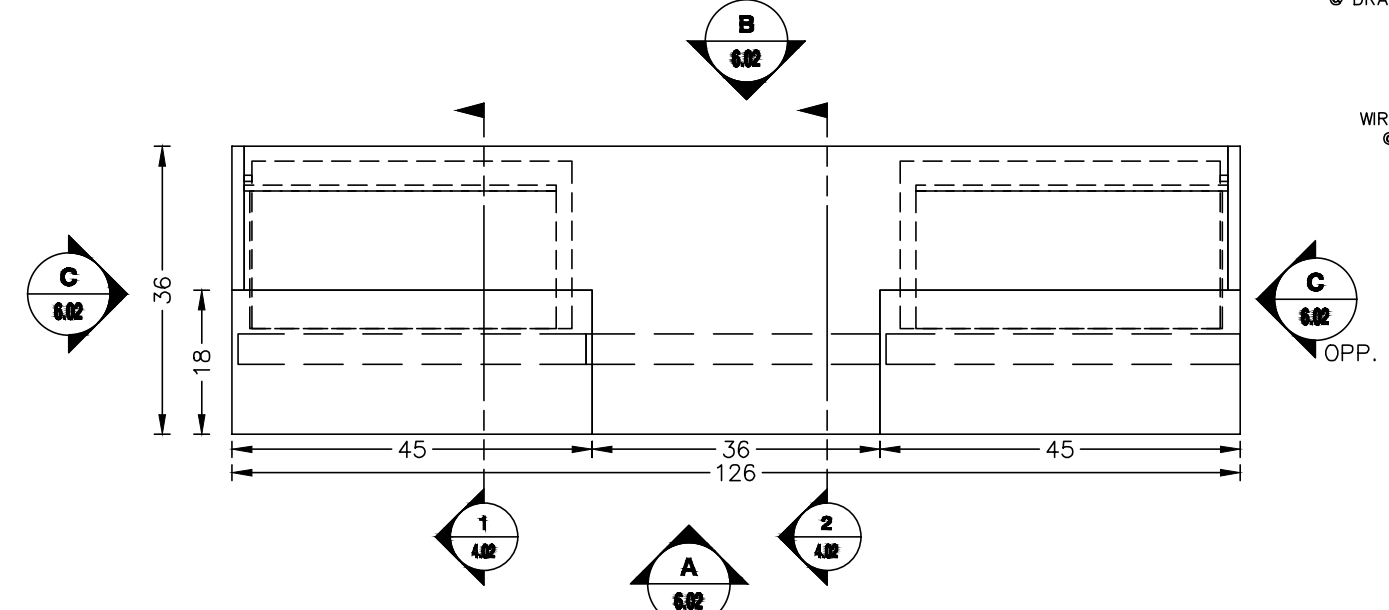
CORR. NURSE FRONT VIEW
REF: REF? SCALE: 1/2" = 1'



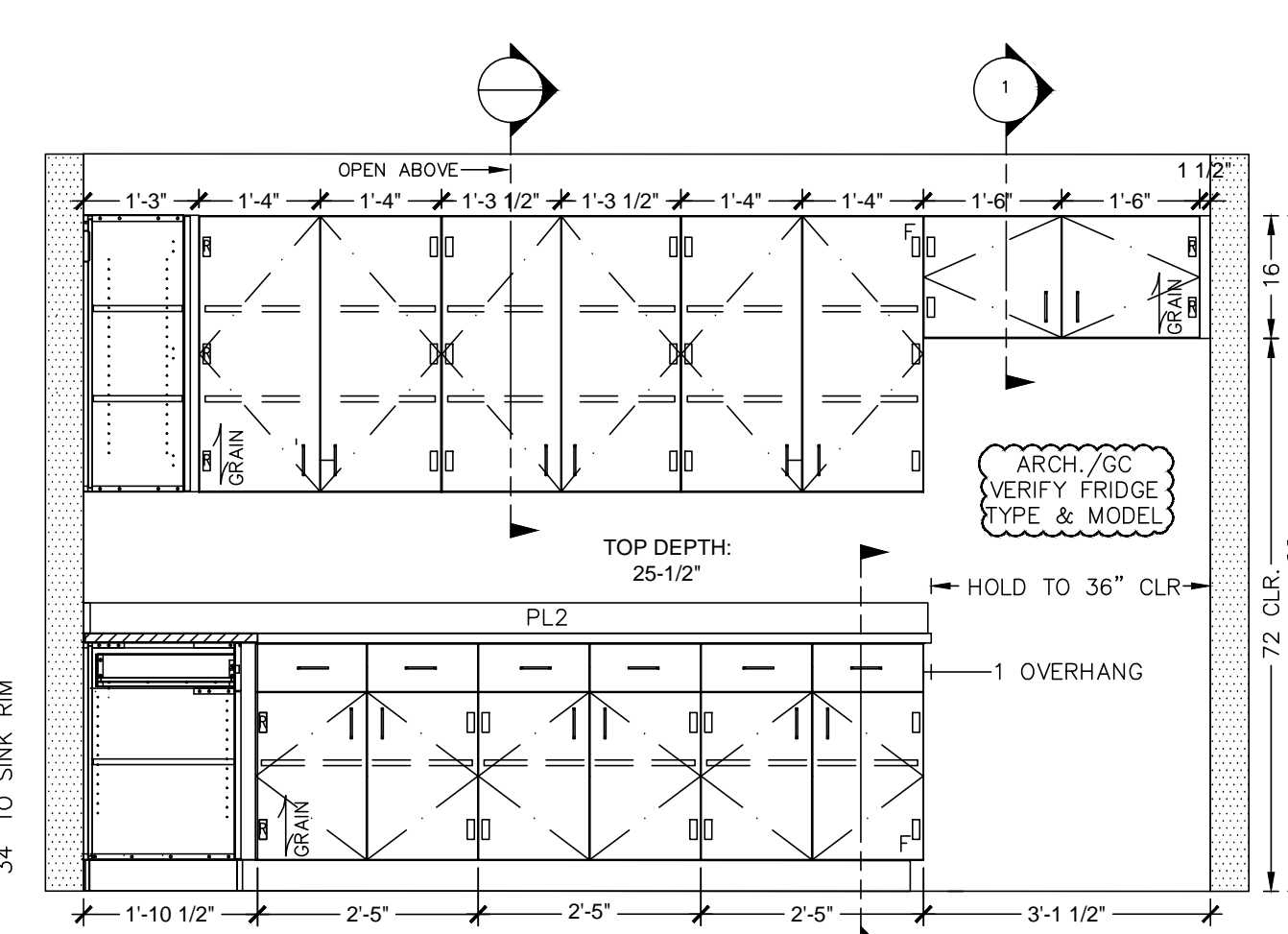
NURSE BEHIND VIEW
REF: REF? SCALE: 1/2" = 1'



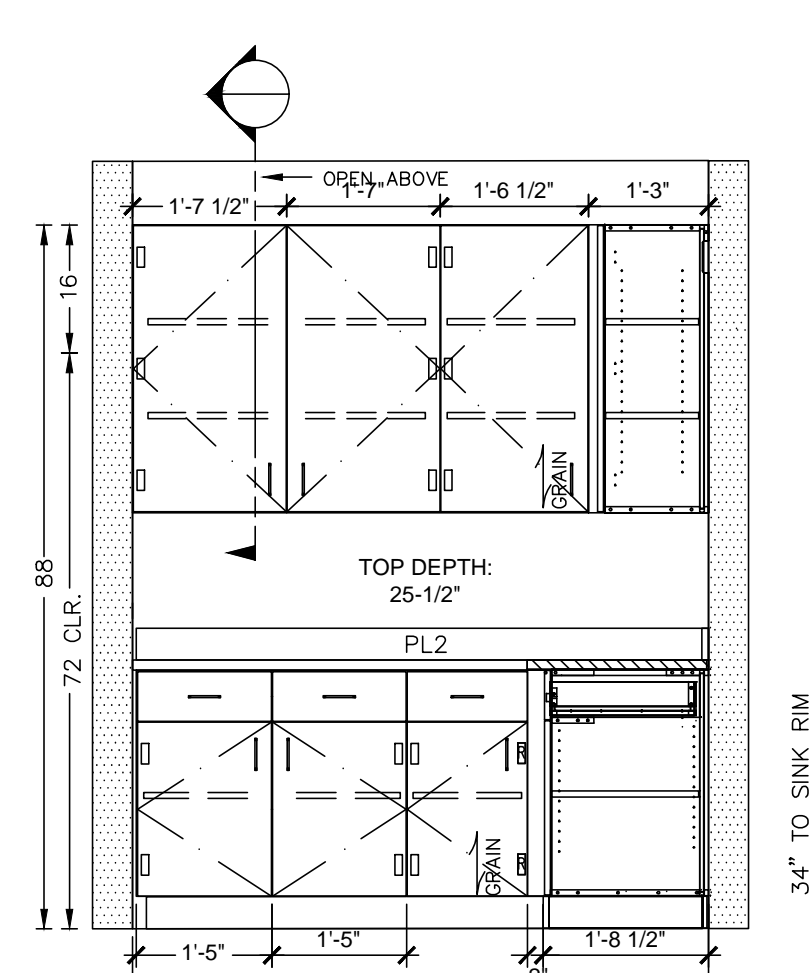
5 NURSE PLAN
REF: 1/A13 AREA: SCALE: 1/2" = 1'



6 BREAK ROOM
REF: 6/A13 AREA: SCALE: 1/2" = 1'



7 PHARMACY
REF: 4/A13 AREA: QTY: 1 SCALE: 1/2" = 1'



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ARCHITECT SEAL SIGNATURE & DATE

No.	Revision/Issue	Date
3		
2		
1		07/20/22

Real Estate Firm Name and Address
TJKZ CONSTRUCTION
1601 ELM STREET DALLAS, TX 75201

Project Name and Address
TOTAL POINT URGENT CARE
1029 South Campbell Avenue, MO 65807

SHEET TITLE
MILLWORK

Project 1029 South Campbell Avenue, Springfield, MO Sheet
DRAWN BY **BMH AS BUILT USA**
Date **07/20/2022**
A11