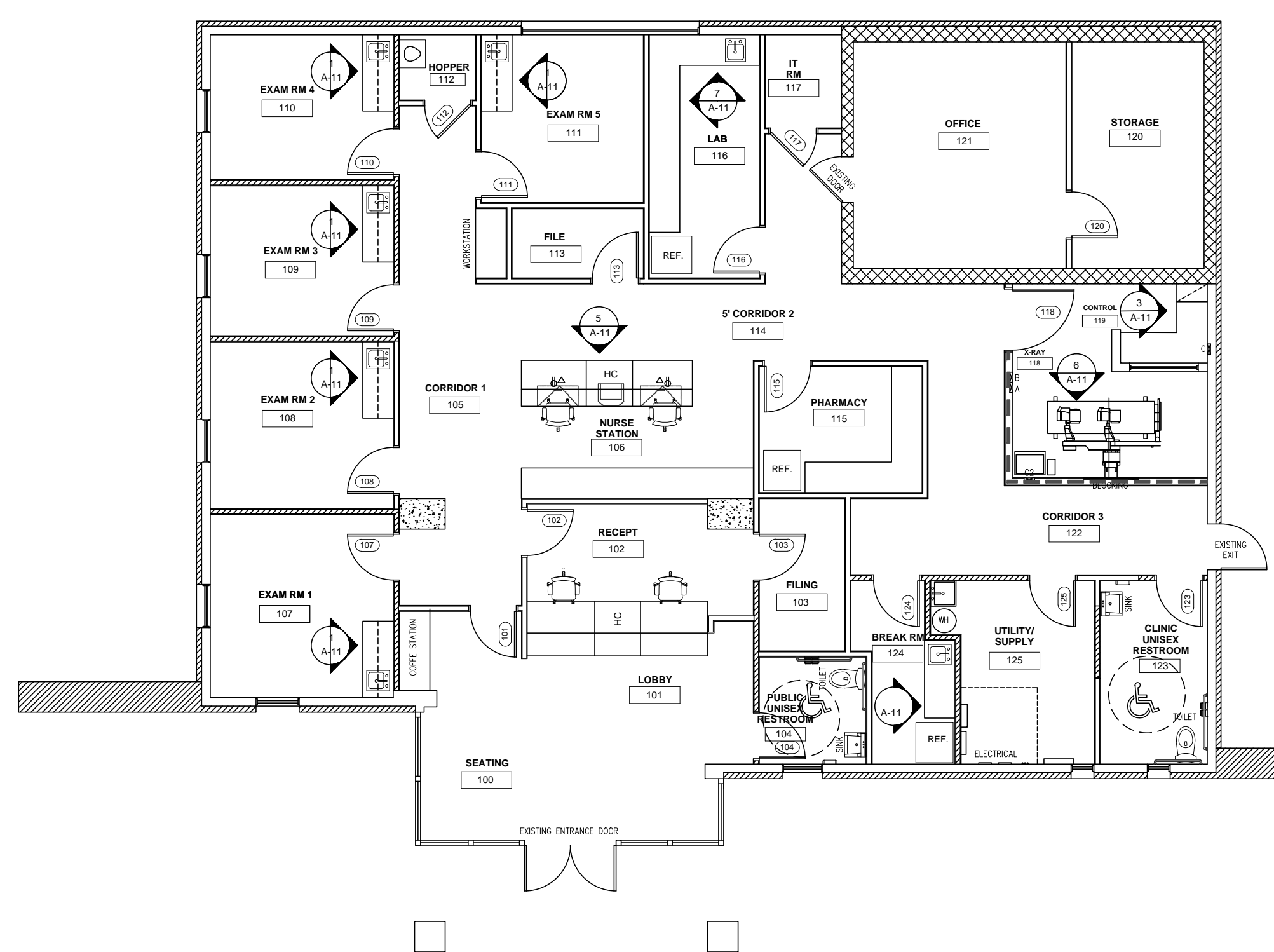
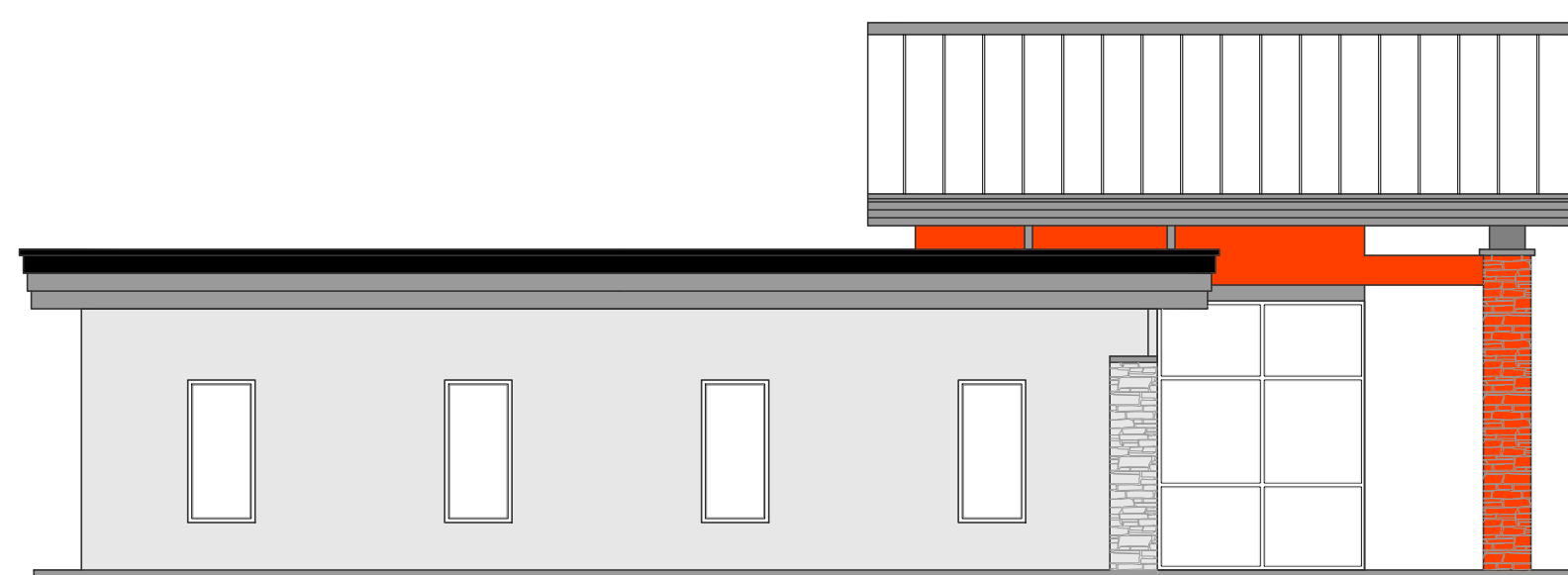
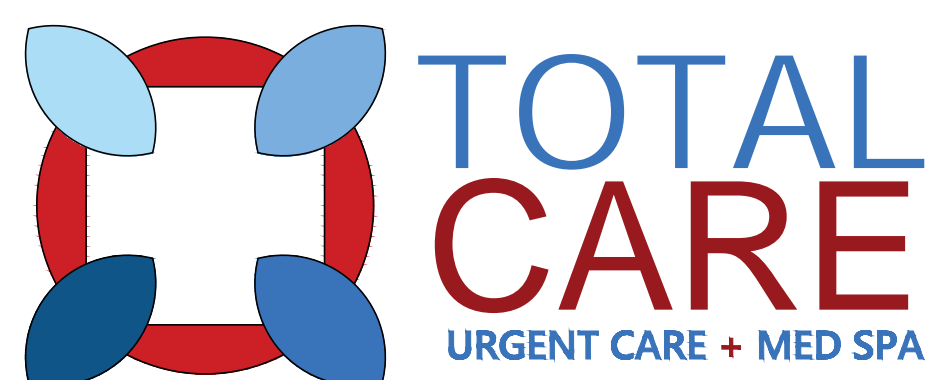




1919 Fitz Ln , Nixa MO 65714



SHEET INDEX

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A2	EXISTING CONDITIONS SITE AND SATELITE
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PROJECT SCOPE

PROJECT ADDRESS: 1919 Fitz Ln , Nixa MO 65714

PROJECT SCOPE: ALTERATION TO EXISTING SINGLE STORY BUILDING AND STRUCTURAL WORK.

BLDG GROSS SQ FT: 3,035 SQ FT
 STORIES: SINGLE DETACHED SLAB ON GRADE
 CONSTRUCTION TYPE Type 5B (VB)
 SITE AREA: xxx ACRES

NEW OCCUPANCY: (B) BUSINESS TOTAL POINT CENTER
 CURRENT ZONING EXISTING C-2 GENERAL COMMERCIAL

BUILDING DEPT NOTES

BUILDING TO COMPLY WITH:

- 2012 Fire Code IFC
- 2011 Electrical Code NEC
- 2012 International Building Code
- 2012 International Mechanical Code
- 2012 International Plumbing Code

OCCUPANCY CLASSIFICATION- CLINIC-OUT PATIENT
 CONSTRUCTION CLASSIFICATION - TYPE (VB)

NON SPRINKLERED BUILDING

OCCUPANCY LOAD (1 PERSON PER 100 GROSS SF) - 30

FIRE RATINGS FOR TYPE 5A
 WALL BEARING - 0 HOUR
 EXTERIOR WALL - 0 HOUR
 CORRIDORS UNDER 30 PERSONS - 0 HOUR
 INTERIOR WALLS - 0 HOUR
 NON LOAD BEARING WALLS - 0 HOUR
 STAIRS & ELEVATORS - NA
 STRUCTURE & SECONDARY - 0 HOUR
 ROOF - 0 HOUR
 FIRE WALL - NA

MINIMUM # OF EXTERIOR EXITS - (1)EXITS
 EXTERIOR EXITS PROVIDED - 2 EXITS

INTERIOR FINISHES - (B) MIN FLAME SPREAD

MAXIMUM ALLOWABLE FLOOR SPACE WITH NO SPRINKLER SYSTEM TYPE VA CONST - 9,000 FT
 MAXIMUM TRAVEL DISTANCE - 200 FT
 MAXIMUM BUILDING HGT - 40 FT

PLUMBING REQ'S

MINIMUM PLUMBING FACILITIES [PER IBC TABLE 2902.1]

OCCUP.	WATER CLOSET MEN WOMEN	LAVATORIES MEN WOMEN	DRINKING FOUNTAIN	OTHER
(B) BUSINESS	1:25	1:40	1:100	1 SERVICE SINK
REQUIRED B	2 2	2 2	1 1	1 1

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ARCHITECT SEAL SIGNATURE & DATE

No.	Revision/Issue	Date
3		
2		
1		07/21/22

Real Estate Firm Name and Address

 1601 ELM STREET DALLAS, TX 75201

Project Name and Address

 1919 Fitz Ln , Nixa MO 65714

SHEET TITLE
 GENERAL NOTES, ADA NOTES & LEGENDS

Project 1919 Fitz Ln
 Nixa MO 65714
 DRAWN BY
 BMH AS BUILT USA
 Date
 07/21/2022

Sheet
C-1

ABBREVIATIONS

# & @	Pound OR Number And
ACT	Acoustic Ceiling Tile
AD	Area Drain
AFF	Above Finished Floor
ALUM	Aluminum
ANOD	Anodized
BSMT	Basement
BYND	Beyond
BOT	Bottom
CIP	Cast In Place
CHNL	Channel
CJ	Control Joint
CLG	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
COL	Column
COMPR	Compressible
CONC	Concrete
CONT	Continuous
CPT	Carpet
CT	Ceramic Tile
CTYD	Courtyard
DBL	Double
DEMO	Demolish or Demolition
DIA	Diameter
DIM	Dimension
DIMS	Dimensions
DN	Down
DR	Door
DWG	Drawing
EA	Each
EJ	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPDM	Ethylene Propylene Diene M-Class (Roofing)
EQ	Equal
EXIST	Existing
EXP JT	Expansion Joint
EXT	Exterior
FD	Floor Drain or Fire Department
FEK	Fire Extinguisher Cabinet
FIXT	Fixture
FLR	Floor
FM	Filled Metal
FO	Face Of
FND	Foundation
GA	Gauge
GALV	Galvanized
GWB	Gypsum Wall Board
HC	Hollow Core
HI	High
HM	Hollow Metal
HP	High Point
HR	Hour
HVAC	Heating, Ventilating, And Air Conditioning
IRGWB	Impact Resistant Gypsum Wall Board
ILO	In Lieu Of
INSUL	Insulated or Insulation
INT	Interior
LO	Low
MAX	Maximum
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MIN	Minimum
MRGWB	Moisture-Resistant Gypsum Wall Board
MTL	Metal
NIC	Not In Contract
NO	Number
NOM	Nominal
OC	Center
OH	Opposite Hand
OZ	Ounce
PCC	Pre-Cast Concrete
PLUMB	Plumbing
PLYD	Plywood
PT	Pressure Treated
PNT	Paint or Painted
PVC	Polyvinyl Chloride
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Roof Drain
REQD	Required
RM	Room
SIM	Similar
SPEC	Specified OR Specification
SPR	Sprinkler or Speaker
SS	Stainless Steel
STC	Sound Transmission Coefficient
STL	Steel
STRUCT	Structure or Structural
T&G	Tongue And Groove
TEL	Telephone
TLT	Toilet
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
T/D	Telephone/Data
TYP	Typical
UNO	Unless Noted Otherwise
U/S	Underside
VIF	Verify In Field
VP	Vision Panel
W	With
WD	Wood

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT (ADA) AND THE TEXAS ACCESSIBILITY STANDARD (TAS). IF COST OF CONSTRUCTION EXCEEDS \$50,000, SUBMIT PLANS TO TDLR FOR PLAN REVIEW.
2. THE CONTRACTOR AND SUB CONTRACTORS SHALL OBTAIN REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. THE PROJECT SHALL MEET ALL LOCAL AND STATE CODES AND ORDINANCES.
4. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHALL BE BROUGHT UP TO THE ARCHITECT IMMEDIATELY.
5. FURNISH AND INSTALL ALL MATERIALS FOR COMPLETE INSTALLATION IN ALL RESPECTS READY FOR INTENDED USE IN ACCORDANCE WITH STATE AND LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS.
6. THE STRUCTURAL SYSTEM INCLUDING THE FOUNDATION IS DESIGNED BY THE STRUCTURAL ENGINEER.
7. ELECTRICAL SYSTEM IS DESIGNED BY THE ELECTRICAL ENGINEER.
8. PLUMBING SYSTEM SHALL IS DESIGNED BY THE PLUMBING ENGINEER. SEE MEP DRAWINGS.
9. MECHANICAL SYSTEM IS DESIGNED BY THE MECHANICAL ENGINEER. SEE MEP DRAWINGS.
10. THIS IS A NON SPRINKLERED BUILDING.
11. PROVIDE FIRE EXTINGUISHERS (2-A RATED) TO BE INSTALLED NOT TO EXCEED 75 FEET APART.

PROJECT TEAM

OWNER:	MEP ENGINEER:	ARCHITECT:
US ASSETS INC. 1601 ELM ST. SUITE. 4210 DALLAS, TX. 75201 469 607 8448	JAMES E. THOMPSON & ASSOCIATES ENGINEERS 1600 E HWY 6, SUITE 331 ALVIN, TX. 77511 832 526 0160	BMH AS-BUILT USA OF TEXAS INC 3514 CEDAR SPRINGS RD DALLAS, TX. 75219 469 607 0006

MECHANICAL & ELECTRICAL

1. VERIFY POWER TO ALL ELECTRICAL EQUIPMENT SUCH AS HVAC, LIGHTING, EMERGENCY, SECURITY, PANTRY AND OFFICE EQUIPMENT.
2. ALL WET AREAS TO RECEIVE GFI OUTLETS
3. PROVIDE GROUND FAULT PROTECTION FOR ELECTRICAL PANELS AND LIGHTING RODS AT ROOF.
4. ALL SWITCHES TO BE INSTALLED AT 48" A.F.F. UNLESS OTHERWISE NOTED.

SITE PLAN KEY NOTES

1. SEE CIVIL ENGINEERING DRAWINGS FOR SITE GRADING AND DRAINAGE INCLUDING ALL ADDITIONAL INFORMATION RELATING TO SITE WORK.
2. ALL SITE WORK SHALL COMPLY WITH THE AMERICAN WITH DISABILITIES ACT (ADA) AND THE TEXAS ACCESSIBILITY STANDARD (TAS). NO VERTICAL CHANGES IN ELEVATION GREATER THAN 1/2" IN H/C PARKING ON ROUTE TO INTERIOR OF BUILDING(S).

CODE SUMMARY

PERMIT PLAN REVIEW: CITY OF LINDALE
105 BALLARD DR.
LINDALE, TEXAS, 75771

BUILDING CODES:
ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, SEE THE FOLLOWING:

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODE
- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2014 NATIONAL ELECTRICAL CODE

FIRE ALARM

THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF A LICENSED FIRE ALARM CONTRACTOR

SIGNAGE

SIGNAGE IS UNDER SEPARATE REVIEW AND PERMIT.

SPECIAL INSPECTIONS

THE FOLLOWING ITEMS IF APPLICABLE WILL REQUIRE SPECIAL INSPECTION, (PER I.B.C.)

SECTION 106.1, 106.1.1, PG.5. ALSO SEE STRUCTURAL PLANS FOR ANY ADDITIONAL INFORMATION

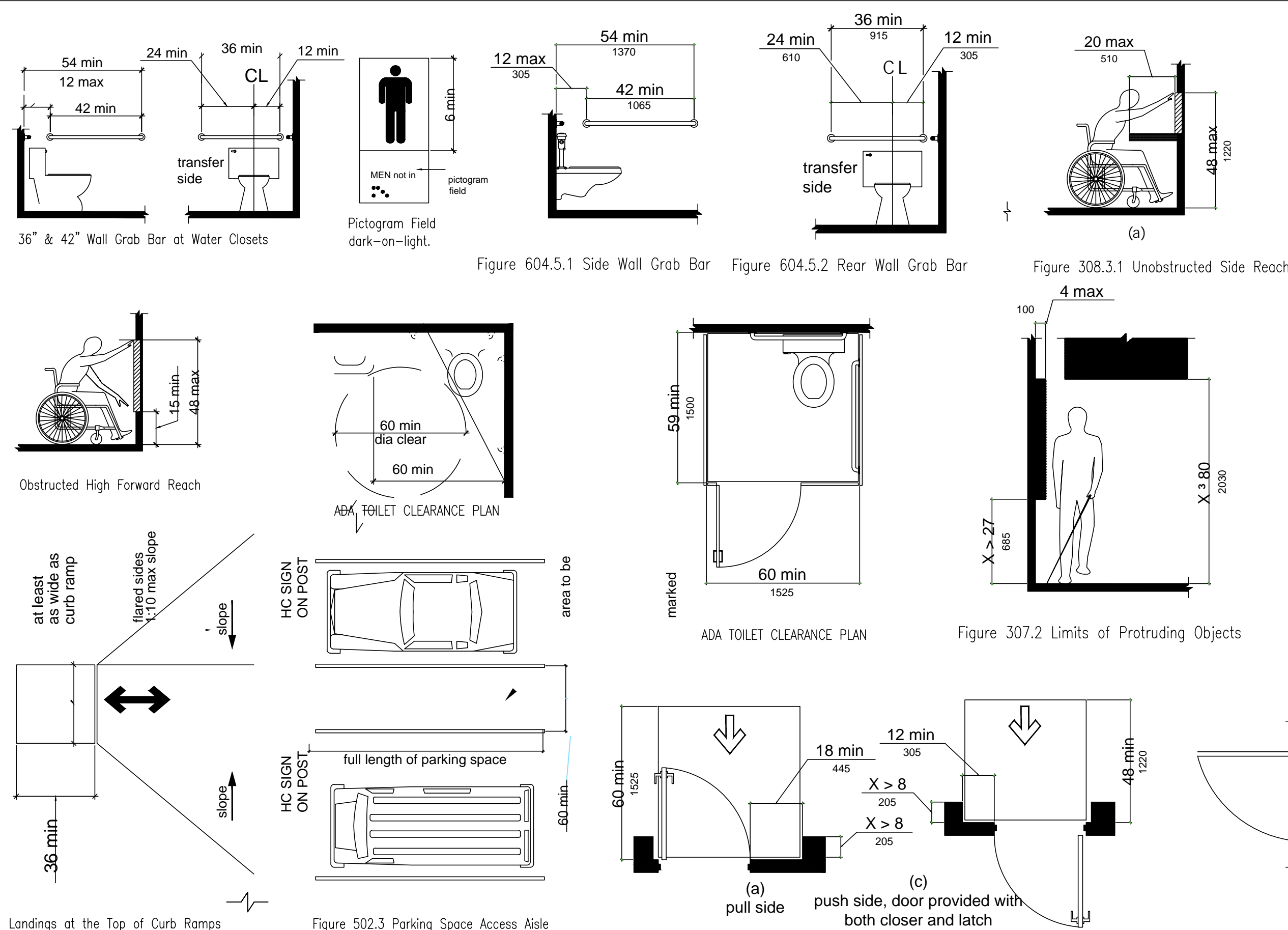
ACCESSIBILITY GENERAL NOTES

1. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES, AS REQUIRED BY A.D.A.
2. WALKS & SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" & SHALL BE A MIN. OF 48" IN WIDTH.
3. SURFACES WITH A SLOPE OF 6% GRADIENT OR GREATER SHALL BE SLIP RESISTANT.
4. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT.
5. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2". WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" MAY BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2" ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.
6. THRESHOLDS TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.
7. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8 1/2 LBS. FOR EXTERIOR DOORS & 5 LBS. FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.
8. PROVIDE LEVER-TYPE HARDWARE PANIC BARS, PUSH - PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.)
9. ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32" CLEAR UNOBSTRUCTED OPENING & A LEVEL & CLEAR AREA FOR A MINIMUM DEPTH OF 60" IN THE DIRECTION OF THE DOOR SWING.
10. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" & 44" ABOVE THE FLOOR. LATCHING & LOCKING DEVICES THAT ARE HAND-ACTIVATED & WHICH ARE IN A PATH OF TRAVEL, SHALL BE OPENABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY PANIC BARS, PUSH/PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
11. GROUND & FLOOR SURFACES ALONG ACCESSIBLE ROUTES & IN ACCESSIBLE ROOMS & SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS & CURB RAMPS, SHALL BE STABLE, FIRM, & SLIP-RESISTANT.
12. OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" & 80" ABOVE THE FINISH FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES. OBJECTS MOUNTED AT OR BELOW 27" ABOVE FINISH FLOOR MAY PROTRUDE ANY AMOUNT.

ADA SIGNAGE

- AS PER 2015 IBC:
1011.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS. A SIGN STATING EXIT IN RAISED CHARACTERS AND BRAILLE AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT THE EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, EXIT DISCHARGE AND HC TOILETS.

ADA DIAGRAMS



LEGEND - CONSTRUCTION

- EXISTING CONSTRUCTION TO BE REMOVED INCLUDING ALL ELECTRICAL AND PLUMBING BACK TO SOURCE
- EXISTING PARTITION
- COLUMN AND GRID
- NEW PARTITION. SEE PARTITION TYPES OR DETAILS FOR MORE INFORMATION
- NEW DOORS. SEE DOOR SCHEDULE OR DETAILS FOR MORE INFORMATION
- NEW WINDOW. SEE WINDOW SCHEDULE OR DETAILS FOR MORE INFORMATION
- DOOR TYPE SEE DOOR/FRAME SCHEDULE
- ROOM OR SPACE NUMBER
- ELEVATION DESIGNATION AND SHEET NUMBER

LEGEND - POWER/ ELECTRICAL

- WALL MOUNTED COMBINATION HORN/STROBE LIGHT MOUNTED @ 88" A.F.F. WITH AMBIENT SOUND NOT TO EXCEED 30dba
- WALL MOUNTED RED FIRE PULL STATION MOUNTED @ 44" A.F.F.
- WALL MOUNTED PORTABLE FIRE EXTINGUISHER MOUNTS @ 44" AT CENTERLINE OF EQUIPMENT
- ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- GFI ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- ELECTRICAL QUAD OUTLET - 110v DUPLEX
- ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- WATERPROOF ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- PHONE/FAX JACK

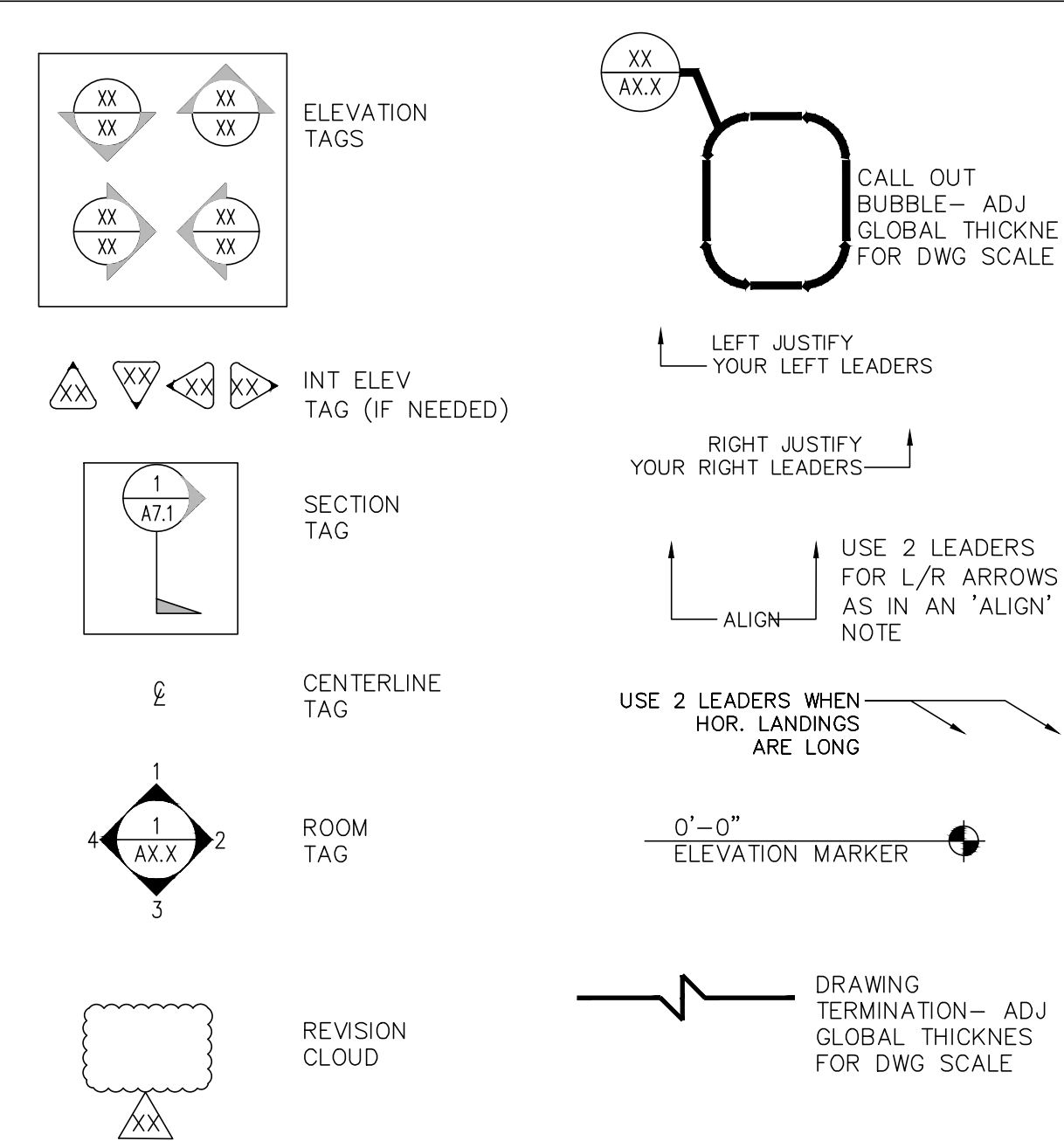
LEGEND - CEILING

- CEILING SURFACE MOUNTED 8 FT FLUORESCENT STRIP WITH WIRE GUARDS (T8 BULB)
- CEILING SURFACE MOUNTED 8 FT FLUORESCENT STRIP WITH WIRE GUARDS (T8 BULB) WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
- 2 X 4 SUSPENDED GRID WITH 2 X 4 ACOUSTICAL TILE LAY-IN CEILING TILE
- 2 X 4 FLUORESCENT LIGHT FIXTURE IN 2 X 4 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB
- 2 X 4 FLUORESCENT LIGHT FIXTURE IN 2 X 4 SUSPENDED CEILING GRID WITH T8 BULB WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
- 2 X 2 SUPPLY AIR DIFFUSER
- 2 X 2 SUPPLY AIR DIFFUSER
- WALL MOUNTED EXTERIOR LIGHT FIXTURE TO MATCH EXISTING
- WALL SCONCE
- RECESSED MOUNTED DOWN LIGHT
- SURFACE MOUNTED EMERGENCY LIGHT WITH BATTERY BACKUP
- SURFACE OR CEILING MOUNTED EXIT SIGN WITH DIRECTIONAL ARROW
- HARD WIRED SMOKE DETECTOR
- THERMOSTAT
- WALL MOUNTED SINGLE POLE SWITCH
- WALL MOUNTED 3-WAY SWITCH

LEGEND - FINISH

- FLOOR FINISH : MANUFACTURERS: SPECIFICATION:
- BASE FINISH : MANUFACTURERS: SPECIFICATION:
- WALL FINISH : MANUFACTURERS: SPECIFICATION:

LEGEND - DRAWING SYMBOLS



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Real Estate Firm Name and Address

TJKZ CONSTRUCTION

1601 ELM STREET DALLAS, TX 75201

Project Name and Address

TOTAL POINT URGENT CARE

1919 Fitz Ln , Nixa MO 65714

SHEET TITLE

GENERAL NOTES, ADA NOTES & LEGENDS

Project 1919 Fitz Ln Nixa MO 65714	Sheet
DRAWN BY BMH AS BUILT USA	A1
Date 07/21/2022	

LOCATION



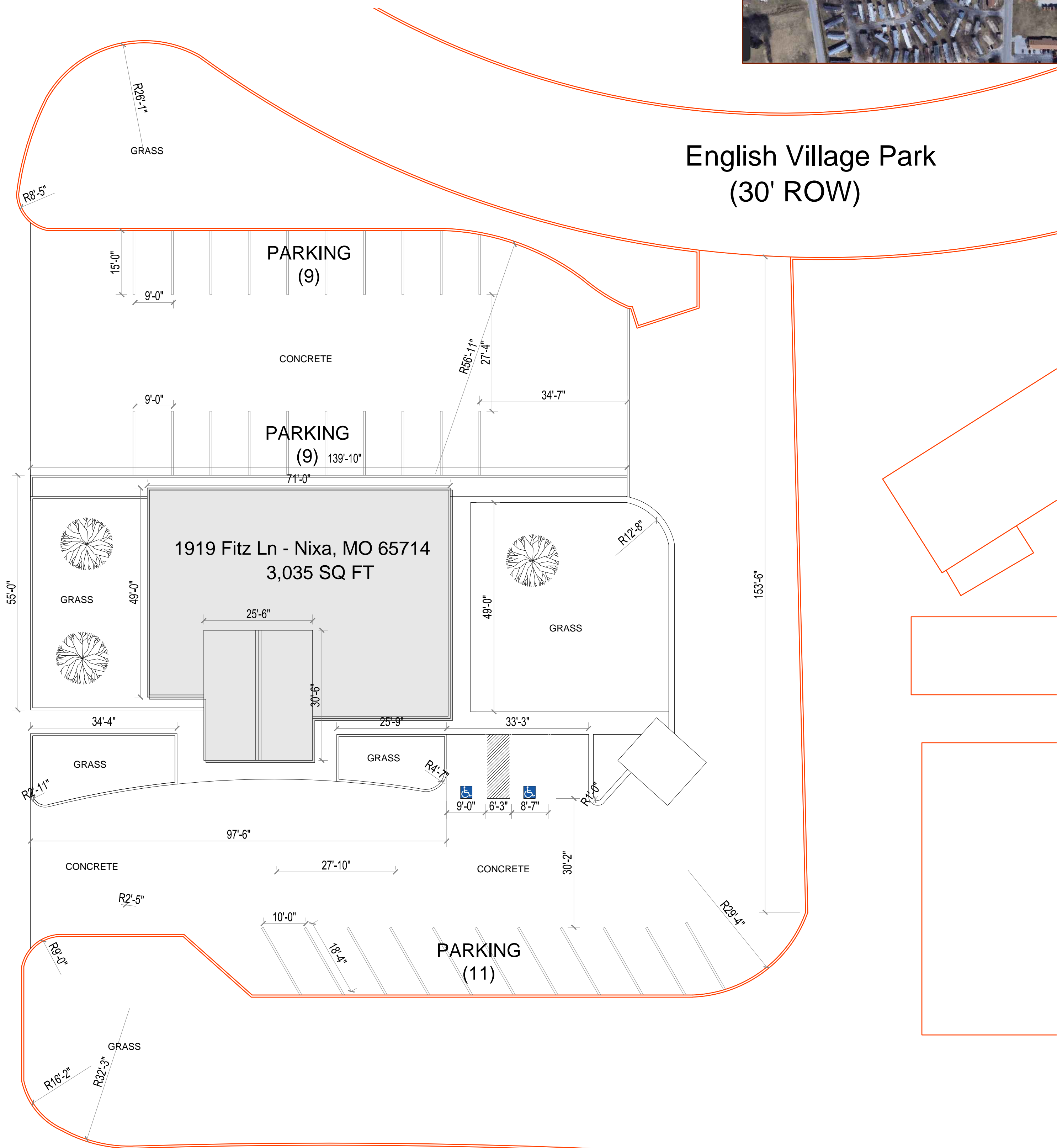
ZOOMED LOCATION



English Village Park
(40' ROW)

English Village Park
(30' ROW)

Fitz Ln
(20' ROW)



1 EXISTING CONDITIONS & SITE PLAN
SCALE : 1/16"=1'-0"



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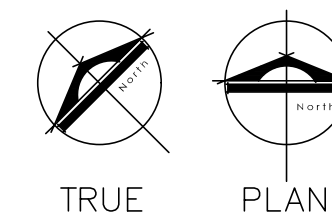
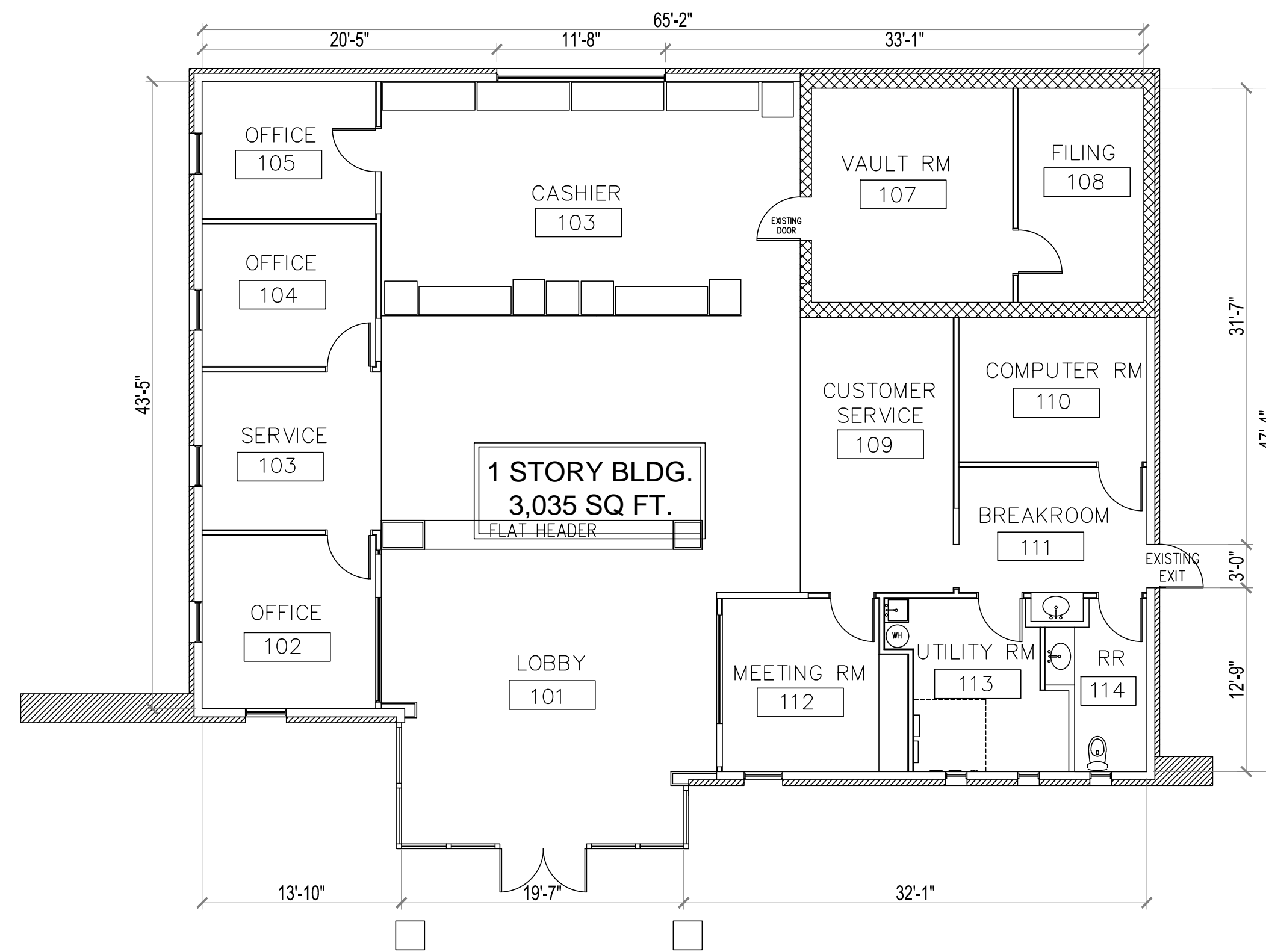
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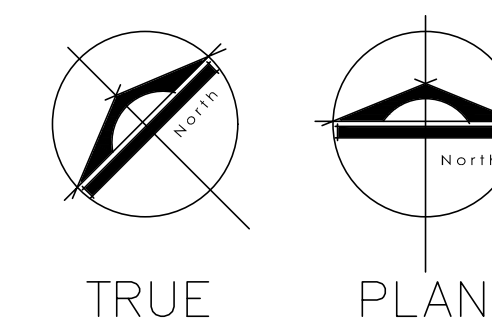
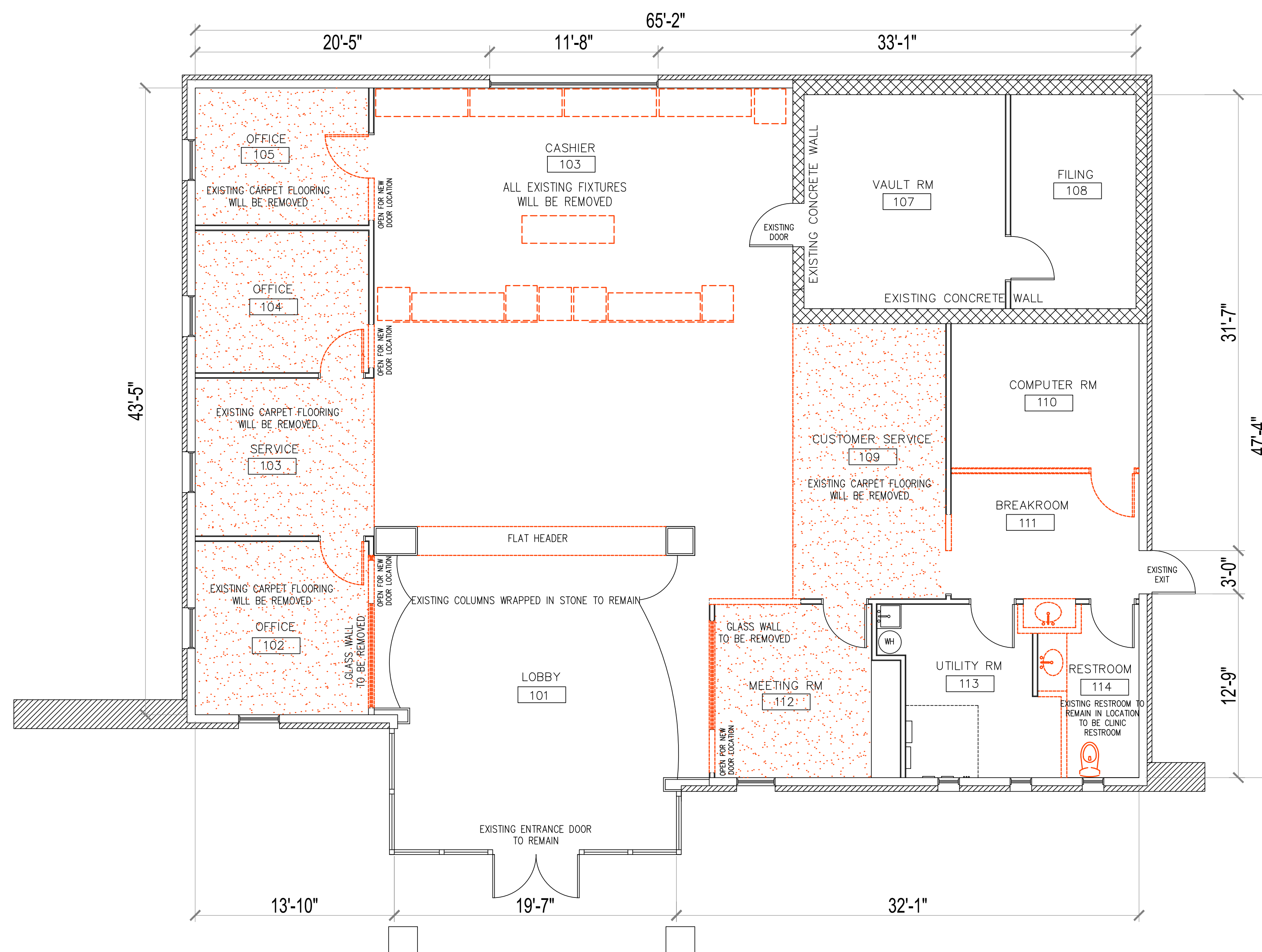
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1

EXISTING FLOOR PLAN

SCALE : 1/8"=1'-0"



2

DEMOLITION PLAN

SCALE : 1/16"=1'-0"



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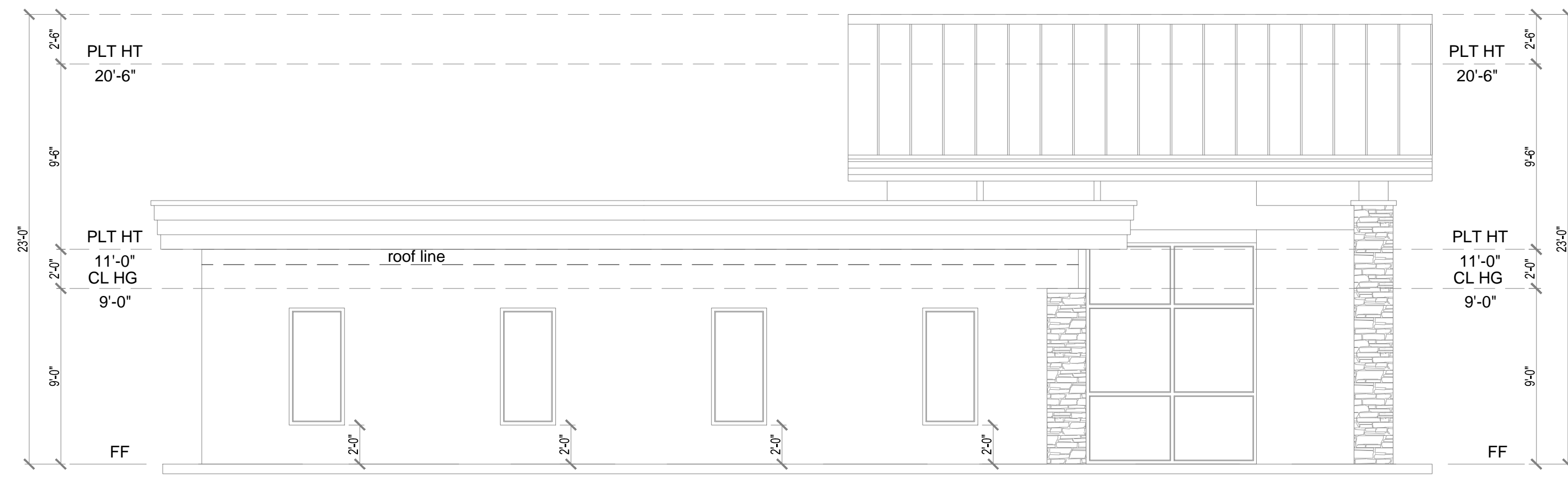
Project Name and Address



1919 Fitz Ln , Nixa MO 65714

SHEET TITLE
EXISTING CONDITIONS FLOOR PLAN

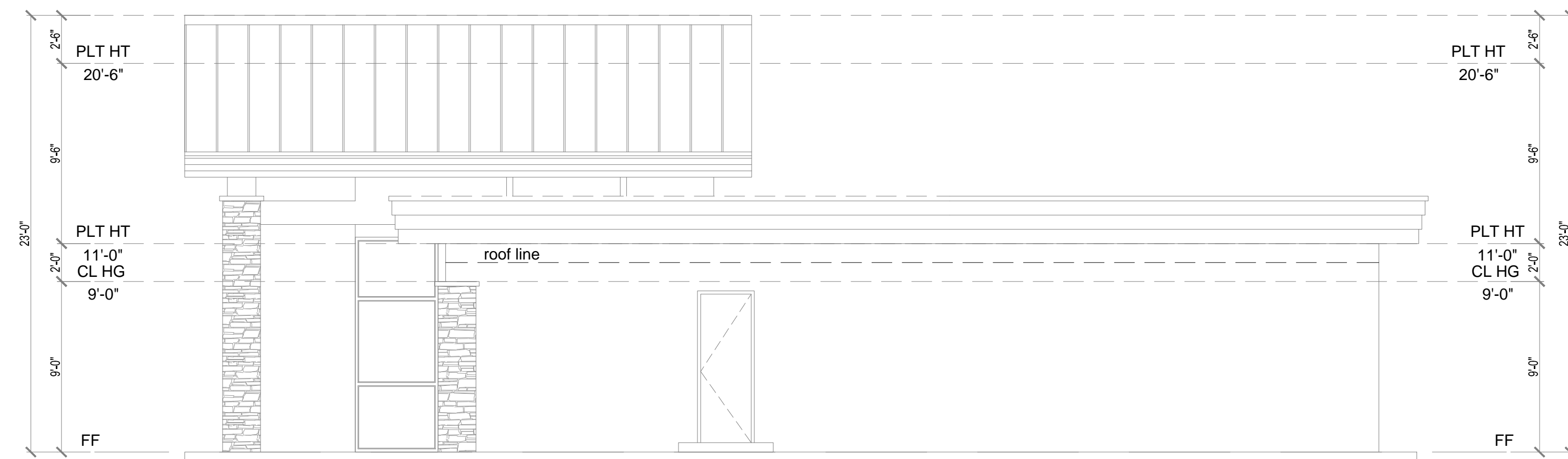
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Date 07/21/2022	



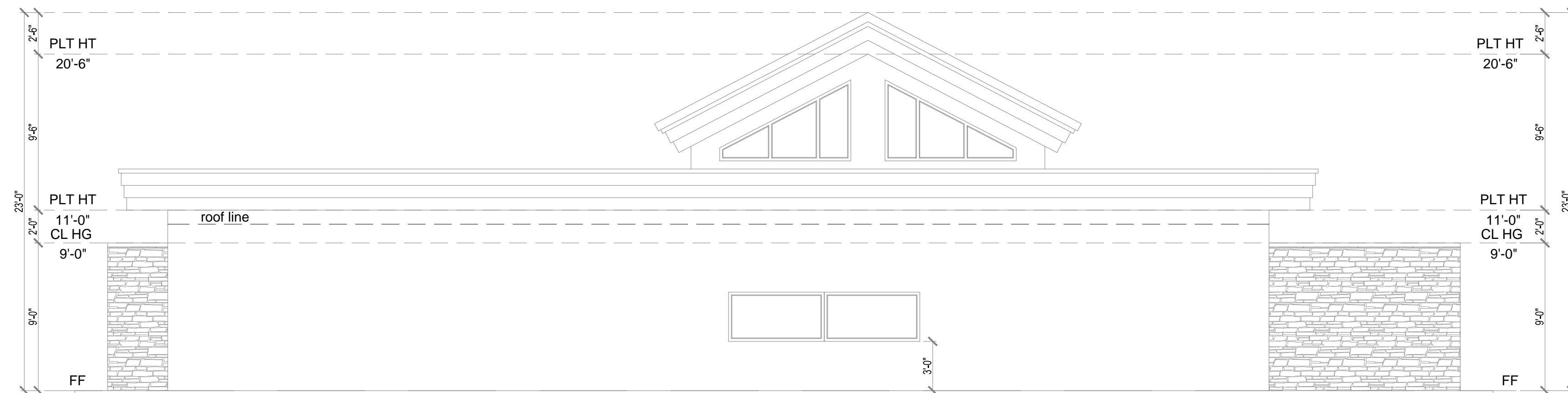
1 EXISTING SOUTH ELEVATION
SCALE : 3/16"=1'-0"



2 EXISTING EAST ELEVATION
SCALE : 3/16"=1'-0"



3 EXISTING NORTH SIDE ELEVATION
SCALE : 3/16"=1'-0"



4 EXISTING WEST ELEVATION
SCALE : 3/16"=1'-0"



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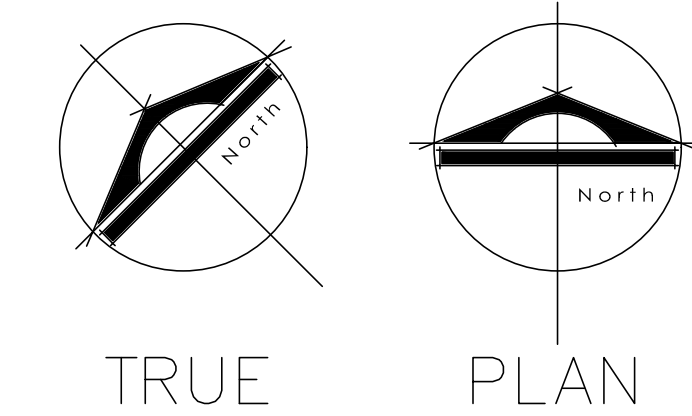
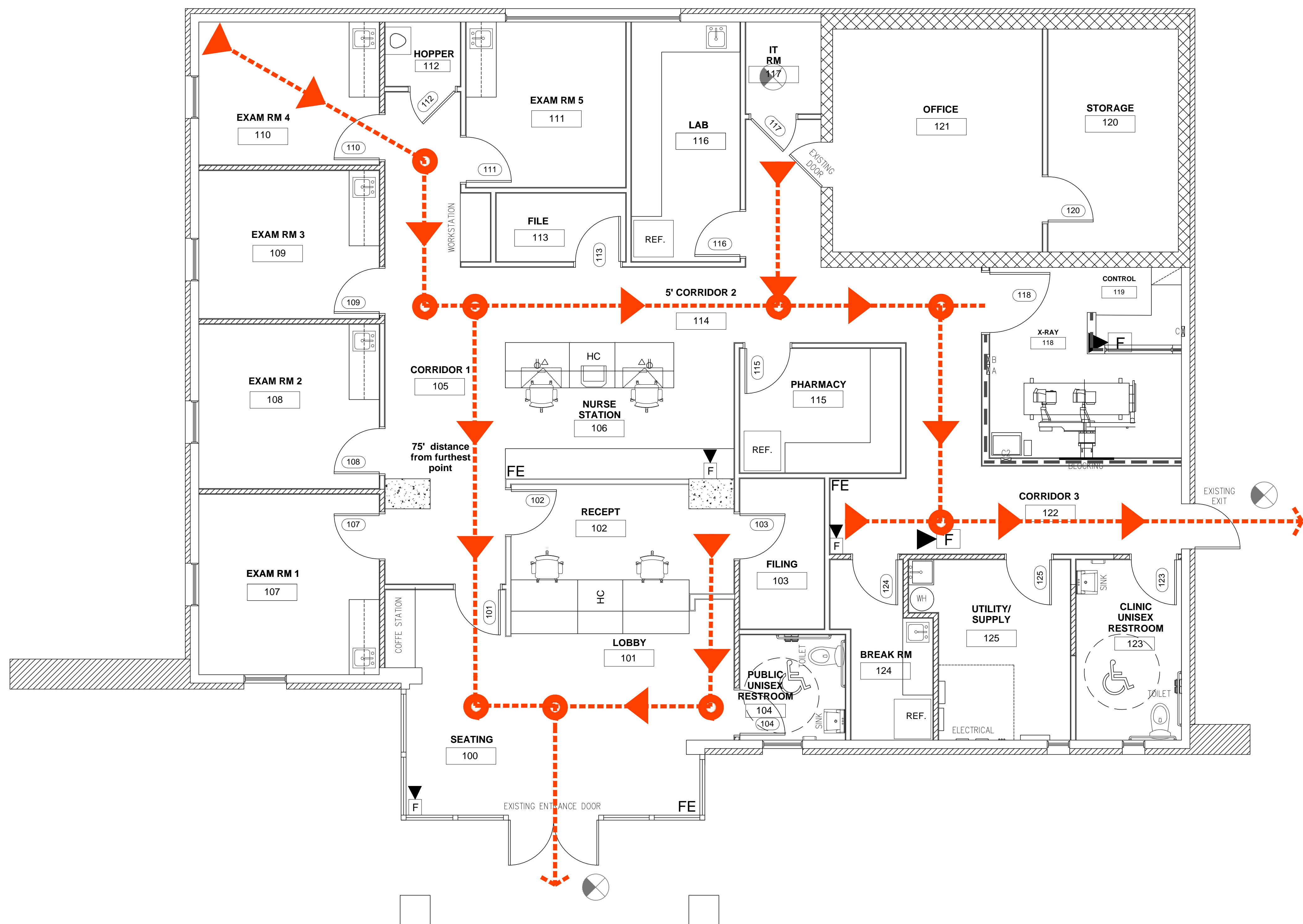
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SHEET TITLE
EXISTING ELEVATIONS

Project 1919 Fitz Ln Nixa MO 65714	Sheet
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Date 07/21/2022	



1 LIFE SAFETY PLAN
SCALE : 1/4"=1'-0"

- EGRESS ROUTE TO EXIT
- MAX TRAVEL DIAGONAL DISTANCE
- WALL MOUNTED FIRE EXTINGUISHER
- FIRE ALARM CONTROL PANEL
- WALL MOUNTED RED FIRE PULL STATION 44" AFF
- EXIT SIGN CEILING MOUNTED (REFER TO MEP SHEET FOR MORE INFORMATION)
- EXIT SIGN WALL MOUNTED (REFER TO MEP SHEET FOR MORE INFORMATION)
- 1-HOUR FIRE RATED PARTITION - REFER TO DETAIL (G.1.1.1/02)
- HORN/STROBE LIGHT MOUNTED @ 88" A.F.F. WITH AMBIENT SOUND NOT TO EXCEED 30dB

- FIRE EXTINGUISHER CABINET (F.E.C.): PER 2015 IFC, SECTION 9061
(PROVIDED AND INSTALLED BY G.C.)
MANUFACTURER: LARSEN'S
FINISH: WHITE BAKED ENAMEL STEEL
VERTICAL DUO WITH CLEAR ACRYLIC GLAZING
- DOOR HANDLE : RECESSED
- FIRE EXTINGUISHER: 2A:10BC

PROVIDE (1) FIRE EXTINGUISHER & CABINET PER 3,000 S.F. (MAX.) WITH
LOCATIONS WITH LOCAL FIRE LINDALE
INSTALL CABINET SO TOP OF CABINET IS AT +48" A.F.F.



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Project Name and Address

1919 Fitz Ln , Nixa MO 65714

SHEET TITLE	
LIFE SAFETY PLAN	
Project 1919 Fitz Ln Nixa MO 65714	Sheet
Drawn by BMH AS BUILT USA	A3
Date 07/21/2022	

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No.	Revision/Issue	Date
3		
2		
1		07/21/22

Real Estate Firm Name and Address



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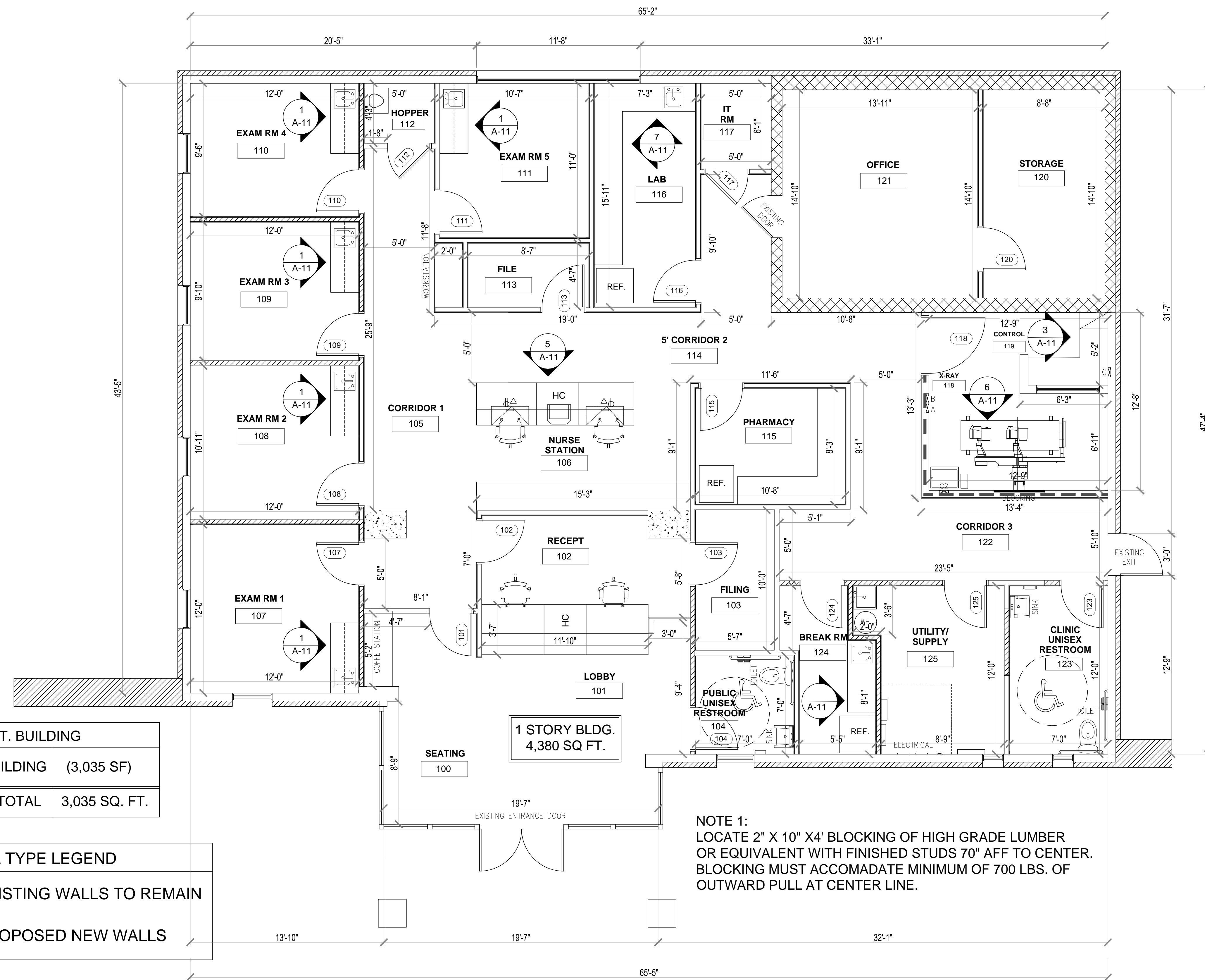
Project Name and Address




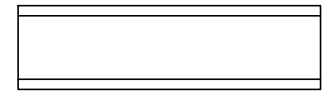
1919 Fitz Ln , Nixa MO 65714

SHEET TITLE
CONSTRUCTION PLAN

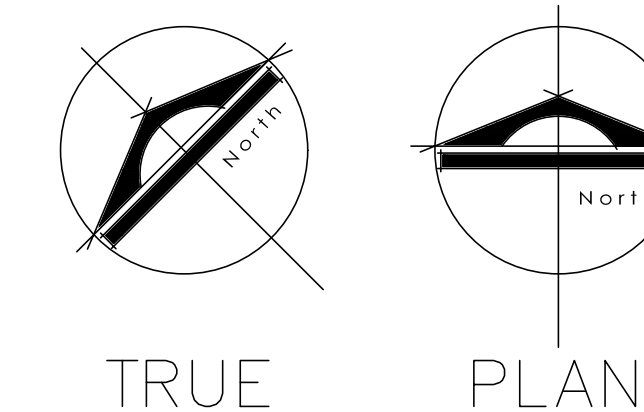
Project 1919 Fitz Ln Nixa MO 65714	Sheet
DRAWN BY: BMH AS BUILT USA	A4
Date 07/21/2022	



SQ. FT. BUILDING	
EXISTING BUILDING	(3,035 SF)
TOTAL	3,035 SQ. FT.

WALL TYPE LEGEND	
	EXISTING WALLS TO REMAIN
	PROPOSED NEW WALLS

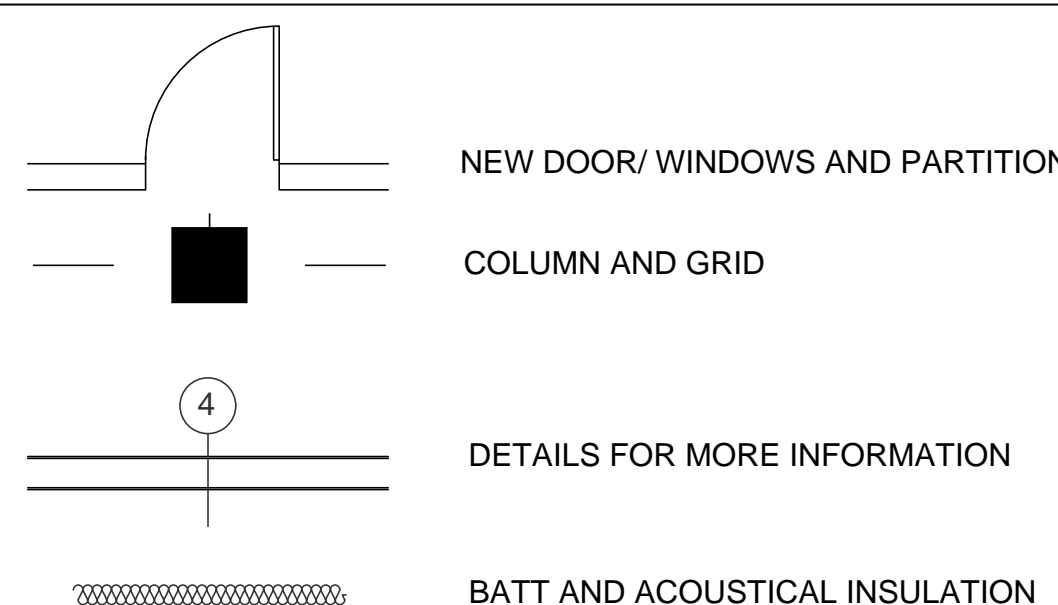
NOTE 1:
 LOCATE 2" X 10" X4' BLOCKING OF HIGH GRADE LUMBER OR EQUIVALENT WITH FINISHED STUDS 70" AFF TO CENTER. BLOCKING MUST ACCOMADATE MINIMUM OF 700 LBS. OF OUTWARD PULL AT CENTER LINE.

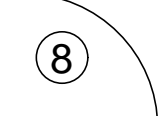
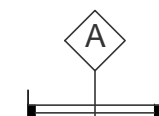
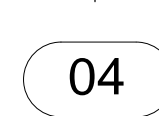







1



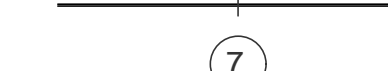

CONSTRUCTION PLAN

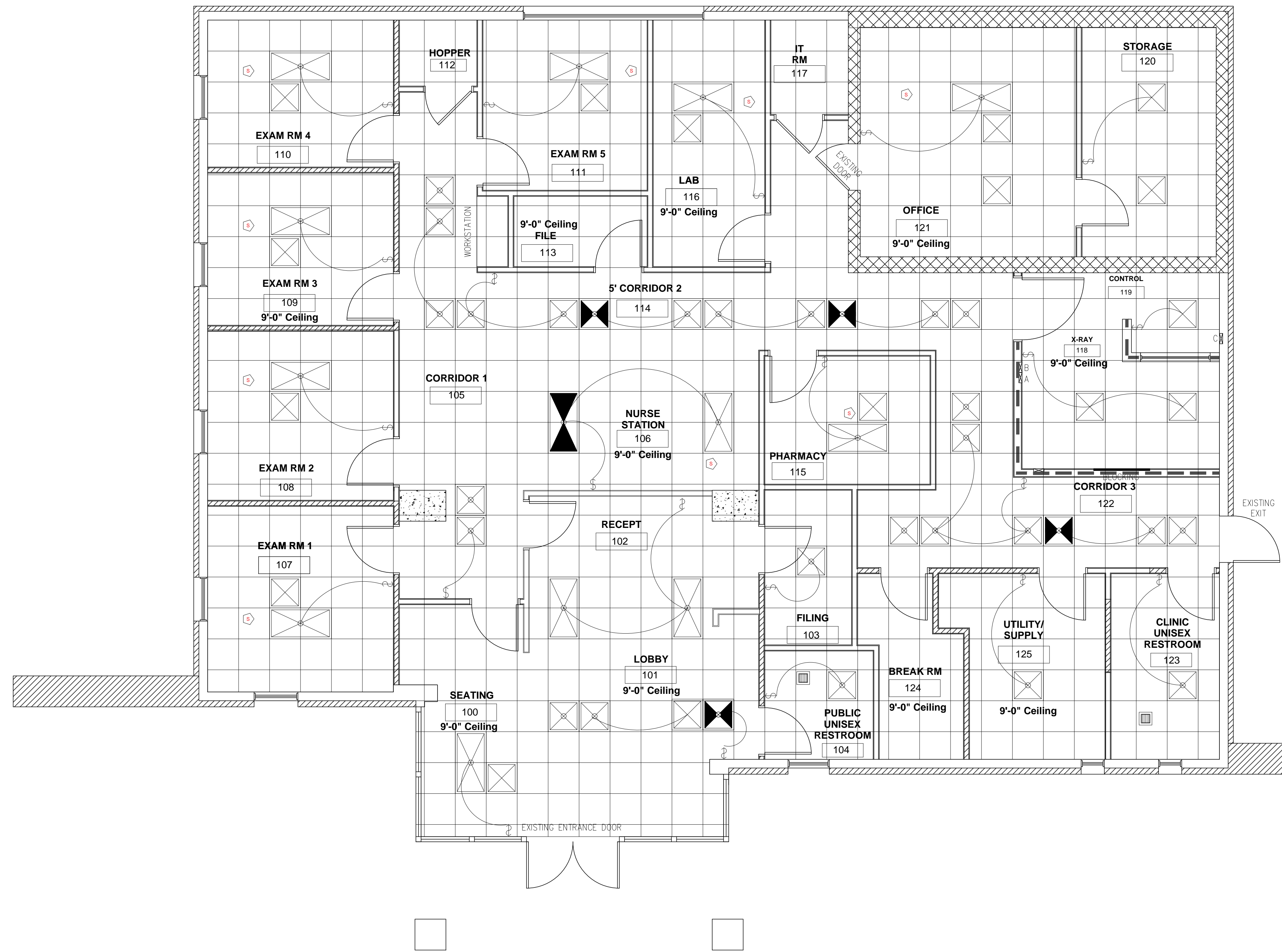
SCALE : 1/4"=1'-0"



-  NEW DOORS. SEE DOOR SCHEDULE OR DETAILS FOR MORE INFORMATION
-  NEW WINDOW. SEE WINDOW SCHEDULE OR DETAILS FOR MORE INFORMATION
-  DOOR TYPE SEE DOOR/FRAME SCHEDULE
-  ROOM OR SPACE NUMBER

-  NEW 4-5/8" STUD (18" OC) WALL
-  SEALED. SEE PARTITION TYPES FOR DETAILS
-  OLD PARTITION WALLS , (REMAIN UNCHANGED) STRUCTURALLY
-  OLD PARTITION WALLS INSIDE WASHROOMS , (REMAIN UNCHANGED) STRUCTURALLY

-  EXISTING OUTER 8" THICK BRICK WALL SEE PARTITION TYPES FOR DETAILS
-  EXISTING 10" THICK PARAPET WALL OF SERVICE ENCLOSURE
-  EXISTING WALLS MODIFIED W/ 1/32 LEAD LINED SHEETROCK 5/8" UP TO 8' AFF
-  NEW 4-5/8" STUD (18" OC) WALL W/ 1/32 LEAD LINED SHEETROCK 5/8" UP TO 8' AFF

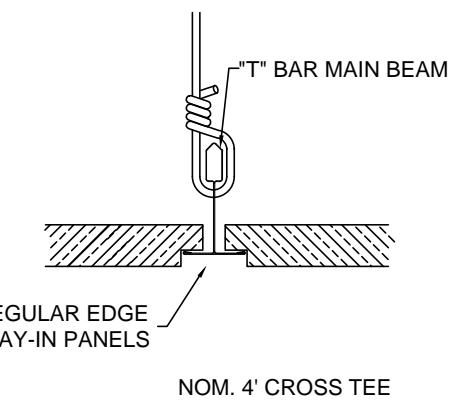
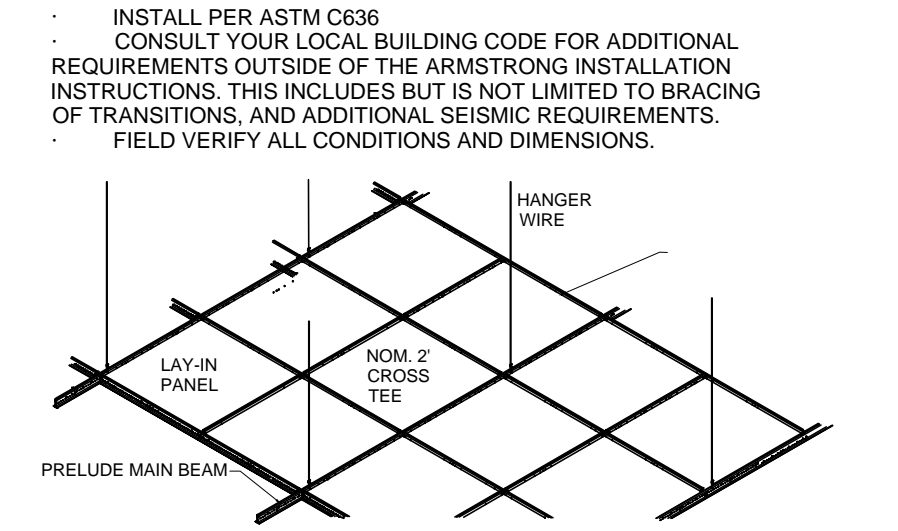


1 REFLECTED CEILING PLAN
SCALE: 1/4"=1'-0"

- 2 X 2 SUSPENDED GRID WITH 2 X 2 ACOUSTICAL TILE LAY-IN CEILING TILE - FIRE RATED SYSTEM
- 2 X 4 LED LIGHT FIXTURE IN 2 X 4 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB
- 2 X 4 LED LIGHT FIXTURE IN 2 X 4 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
- 2 X 2 LED LIGHT FIXTURE IN 2 X 2 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB
- 2 X 2 LED LIGHT FIXTURE IN 2 X 2 SUSPENDED CEILING GRID - 3 LAMP WITH T8 BULB WIRED FOR 24 HR LIGHTING AND SHALL NOT BE SWITCHED
- 2 X 2 SUPPLY AIR DIFFUSER

- WALL MOUNTED EXTERIOR LED LIGHT FIXTURE
- RECESSED MOUNTED LED DOWN LIGHT
- HARD WIRED SMOKE DETECTOR
- BATHROOM EXHAUST FAN
- SURFACE MOUNTED EMERGENCY LIGHT WITH BATTERY BACKUP
- SURFACE OR CEILING MOUNTED LED EXIT SIGN WITH DIRECTIONAL ARROW
- THERMOSTAT
- WALL MOUNTED SINGLE POLE SWITCH
- WALL MOUNTED 3-WAY SWITCH

ARMSTRONG PRELUDE Plus XL Fire Guard 15/16"
Exposed Tee - Suspension System Fire Guard
GENERAL NOTES FOR STANDARD CEILING SYSTEMS:



ASTM REQUIREMENTS FOR FIRE RATED MAIN BEAMS (AS REQUIRED BY AHJ)
ASTM C636-04
ASTM Standards changed to ensure load performance of Fire Rated Main Beams

Load performance and installation of fire rated main beams is now specifically addressed in ASTM C-635 and C-636, to ensure load performance along the entire length of a fire rated main beam.

Now requires that the load performance of the fire rated main beams be evaluated if a wire is installed greater than 3" from the fire expansion relief notch. Typically, when the wire is located greater than 3" from the relief notch, the load carrying capability of the main beam is reduced at that location. (See Section 9.1.2., ASTM C 635 - 04)

Now requires a wire to be located within 3" of a fire expansion relief notch when a fire rated main beam is installed. This wire placement will maintain the load performance of the main beam along its entire length. If the wire is installed further than 3" from the expansion relief notch, ASTM requires the load performance be evaluated. (See Section 2.3.5., ASTM C 636 - 04)



3514 CEDAR SPRINGS ROAD, DALLAS, TEXAS, 75219

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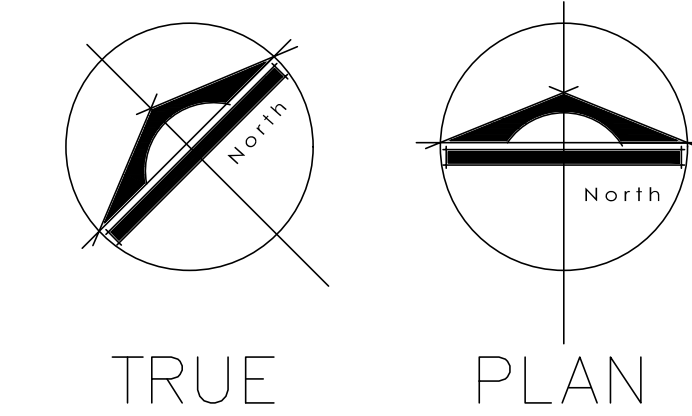
Project Name and Address

1919 Fitz Ln , Nixa MO 65714

SHEET TITLE

REFLECTED CEILING PLAN

Project 1919 Fitz Ln Nixa MO 65714	Sheet
DRAWN BY BMH AS BUILT USA	A5
Date 07/21/2022	



1 POWER PLAN

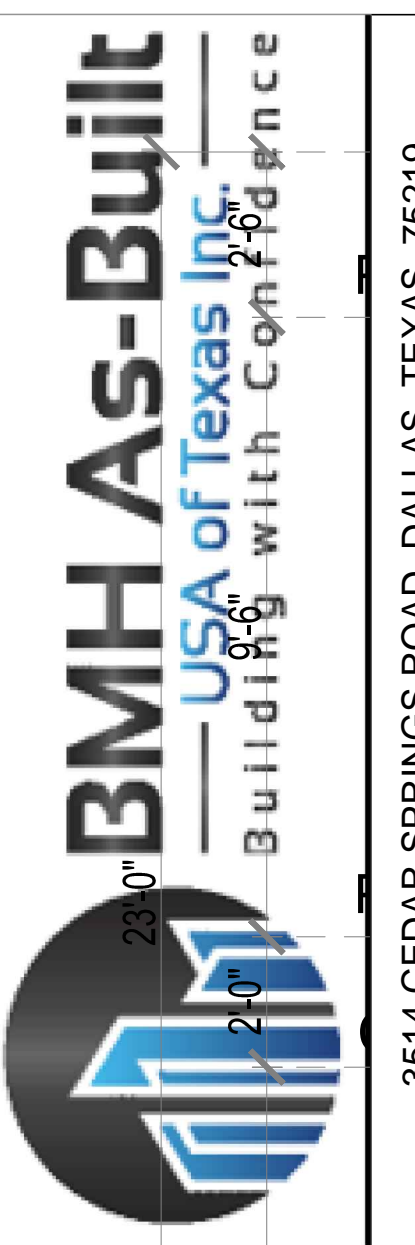
SCALE : 1/4"=1'-0"

- WALL MOUNTED COMBINATION HORN/STROBE LIGHT MOUNTED @ 88" A.F.F. WITH AMBIENT SOUND NOT TO EXCEED 30dBA
- WALL MOUNTED RED FIRE PULL STATION MOUNTED @ 44" A.F.F.
- WALL MOUNTED PORTABLE FIRE EXTINGUISHER MOUNTES @ 44" AT CENTERLINE OF EQUIPMENT
- ELECTRICAL DUPLEX OUTLET - 110v DUPLEX

- GFI ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- ELECTRICAL QUAD OUTLET - 110v DUPLEX
- ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- WATERPROOF ELECTRICAL DUPLEX OUTLET - 110v DUPLEX
- PHONE/ DATA/ FAX / JACK

ELECTRICAL NOTES:

- 1.0 ALL CONVENIENCE OUTLETS WITH SWITCHES TO BE SWITCHED AT TOP ONLY.
- 2.0 ALL SWITCHES TO BE 4'-6" ABOVE FINISH FLOOR TO CENTER LINE OF SWITCHES UNLESS OTHERWISE NOTED.
- 3.0 GANG ALL SWITCHES AND OUTLETS IF POSSIBLE.
- 4.0 VERIFY LOCATION OF POWER TO ALL EQUIPMENT AND APPLIANCES



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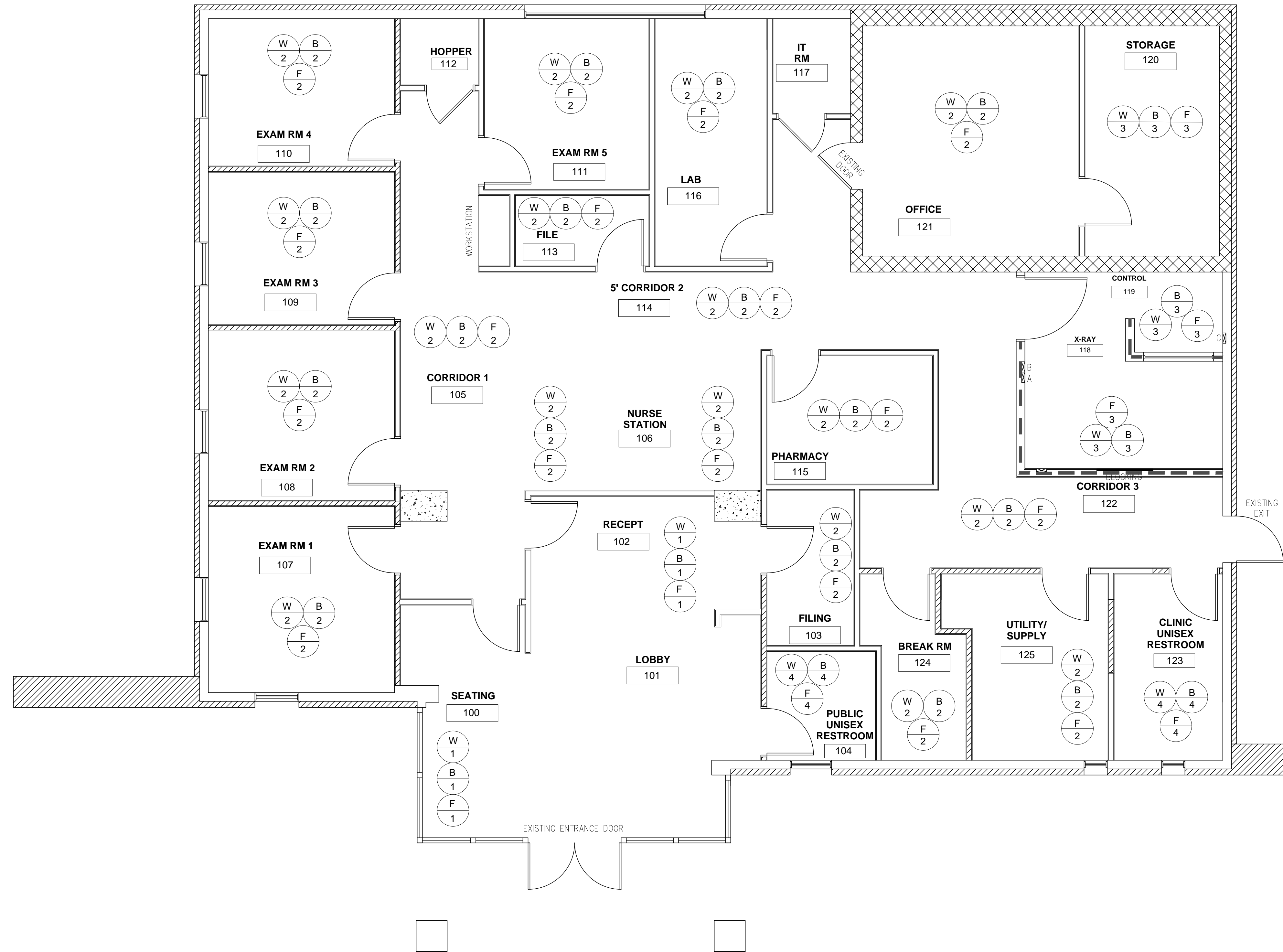
Project Name and Address

1919 Fitz Ln , Nixa MO 65714

SHEET TITLE

POWER PLAN

Project 1919 Fitz Ln Nixa MO 65714	Sheet
DRAWN BY BMH AS BUILT USA	A6
Date 07/21/2022	



1 FINISH PLAN

SCALE : 1/4"=1'-0"

SEATING PUBLIC SECTION:

- F**
1 FLOOR FINISH : LAMINATE FLOORING
MANUFACTURERS: HOME DEPOT LIFEPROOF LUXURY VINYL PLANK
SPECIFICATION: 8.7 IN X 47.6 IN HEIRLOOM PINE
- W**
1 WALL FINISH : PAINT (GYP BD ONLY)
MANUFACTURERS: BENJAMIN MOORE
SPECIFICATION: BONE WHITE EGG SHELL FINISH
- B**
1 WALL BASE : 4" VINYL BASE
MANUFACTURERS: HOME DEPOT - ROPPE
SPECIFICATIONS: IVORY

EXAM/CORR OFFICES ETC.

- F**
2 FLOOR FINISH : LAMINATE FLOORING
MANUFACTURERS: HOME DEPOT LIFEPROOF LUXURY VINYL PLANK
SPECIFICATION: 8.7 IN X 47.6 IN HEIRLOOM PINE
- W**
2 WALL FINISH : PAINT (GYP BD ONLY)
MANUFACTURERS: BENJAMIN MOORE
SPECIFICATION: BONE WHITE EGG SHELL FINISH
- B**
2 WALL BASE : 4" VINYL BASE
MANUFACTURERS: HOME DEPOT - ROPPE
SPECIFICATIONS: IVORY

CT/ XRAY/ CONTROL RM

- F**
3 FLOOR FINISH : LAMINATE FLOORING
MANUFACTURERS: HOME DEPOT LIFEPROOF LUXURY VINYL PLANK
SPECIFICATION: 8.7 IN X 47.6 IN HEIRLOOM PINE
- W**
3 WALL FINISH : PAINT (GYP BD ONLY)
MANUFACTURERS: BENJAMIN MOORE
SPECIFICATION: BONE WHITE EGG SHELL FINISH
- B**
3 WALL BASE : 4" VINYL BASE
MANUFACTURERS: HOME DEPOT - ROPPE
SPECIFICATIONS: IVORY

TOILETS/HOPPER

- F**
4 CERAMIC TILE
MANUFACTURERS: DAL TILE.
12 X 12 SUBWAY PATTERN
- W**
4 WALL FINISH : VINYL PANELS FULL HGT
MANUFACTURERS: TBD
SPECIFICATION: WHITE
- B**
4 WALL BASE : 4" VINYL BASE
MANUFACTURERS: ROPPE
SPECIFICATIONS: T.B.D.

MILLWORK

- 1 EXAM ROOM
COUNTERTOPS W/CABINETS
BELOW & OVERHEAD CABINETS ABOVE.
SINK IS INCLUDED UNLESS NOTED
OTHERWISE ON PLAN
- 2 RECEPTION/ BUSINESS COUNTER DESK
COUNTERTOP AND TRANSACTION
CABINETS BELOW, ALL OPEN ABOVE
COUNTERTOP.
- 3 NURSES STATION,
COUNTERTOP AND TRANSACTION
CABINETS BELOW, ALL OPEN ABOVE
COUNTERTOP.
- 4 LAB STATION, COUNTERTOPS W/CABINETS
BELOW & OVERHEAD CABINETS ABOVE.
SINK IS INCLUDED

SEE DWG A13
FOR ALL MILLWORK
DETAILS

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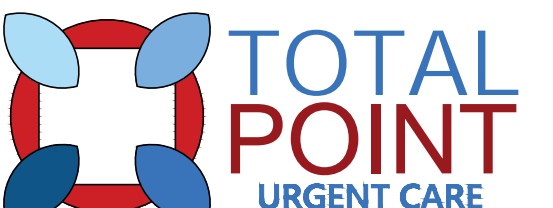
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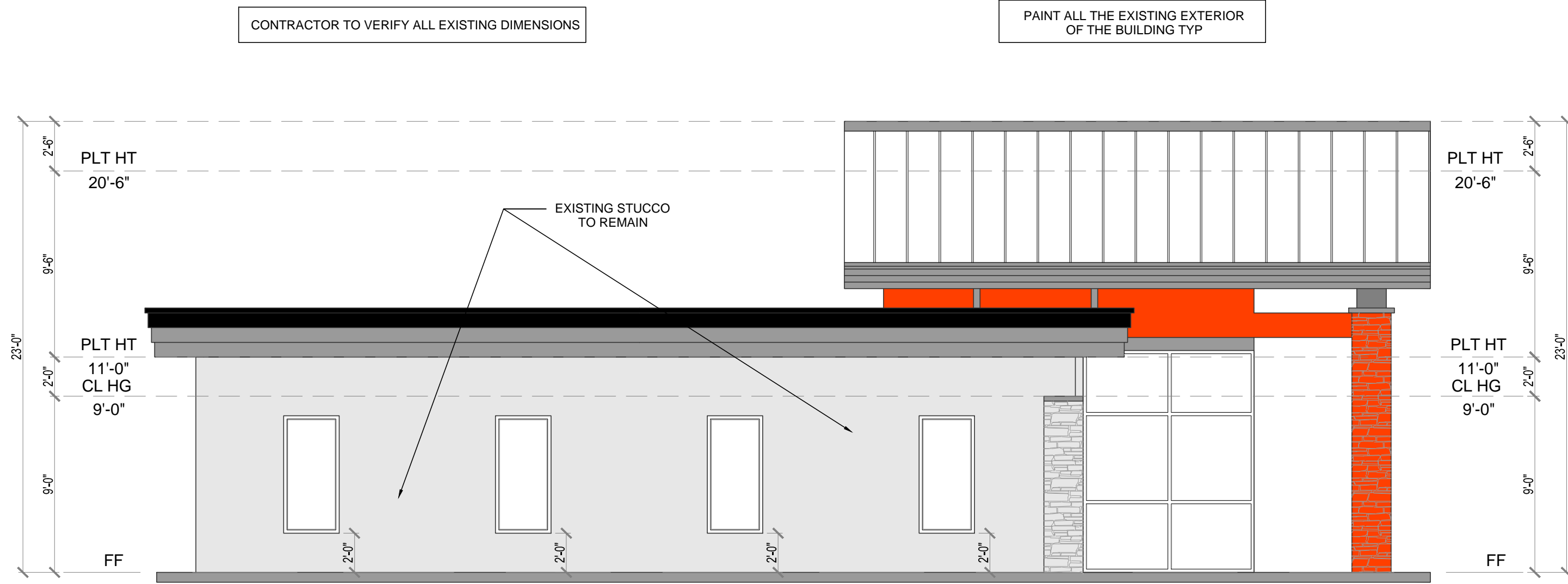
1919 Fitz Ln , Nixa MO 65714

SHEET TITLE	
FINISH PLAN	
Project 1919 Fitz Ln Nixa MO 65714	Sheet
DRAWN BY BMH AS BUILT USA	A7
Date 07/21/2022	



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Building with Confidence

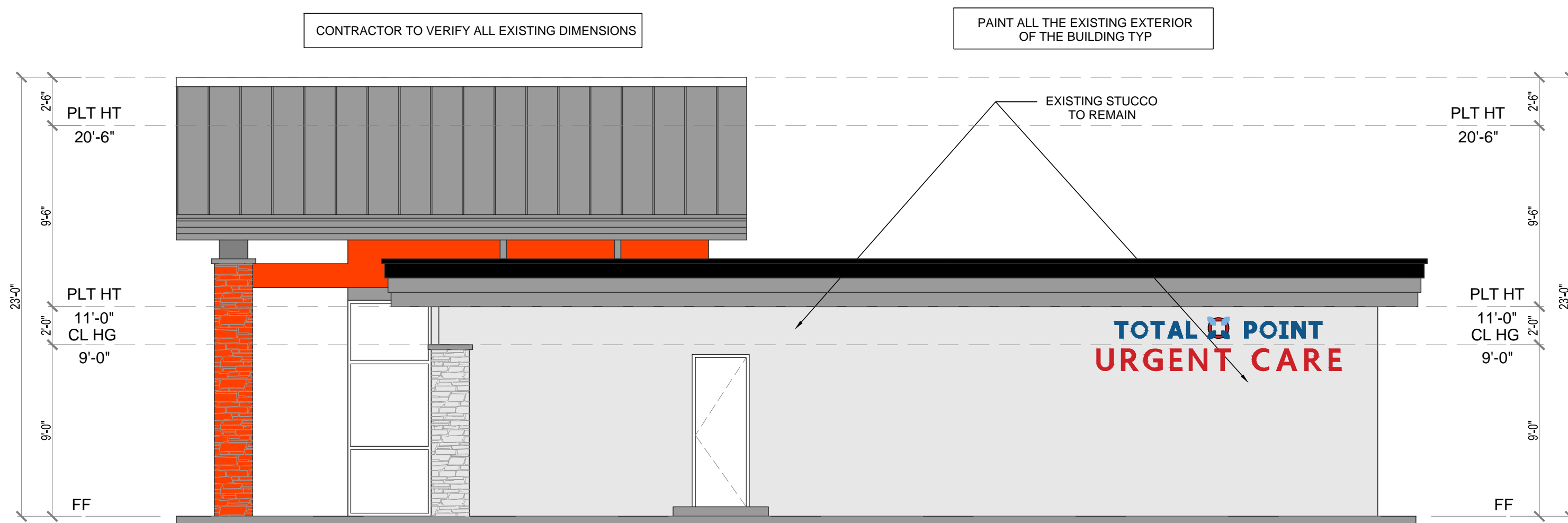
3514 CEDAR SPRINGS ROAD, DALLAS, TEXAS. 75219



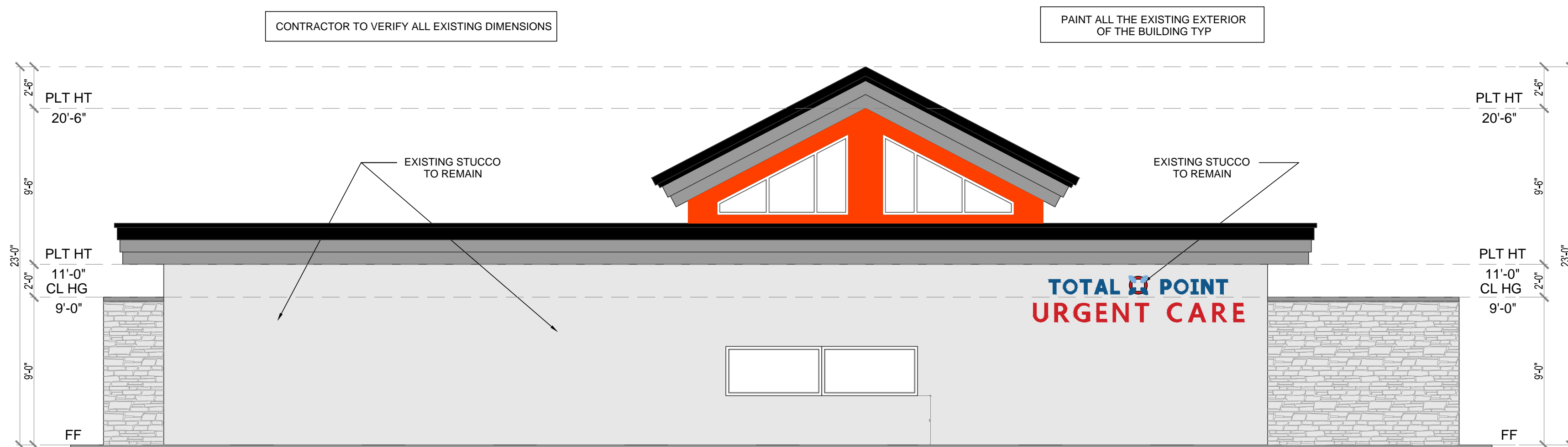
1 NEW SOUTH ELEVATION
SCALE : 3/16"=1'-0"



2 NEW EAST ELEVATION
SCALE : 3/16"=1'-0"



3 NEW NORTH SIDE ELEVATION
SCALE : 3/16"=1'-0"



4 NEW WEST ELEVATION
SCALE : 3/16"=1'-0"




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SHEET TITLE
 ELEVATIONS

Project 1919 Fitz Ln Nixa MO 65714	Sheet
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SHEET TITLE
INTERIOR DOOR SCHEDULE

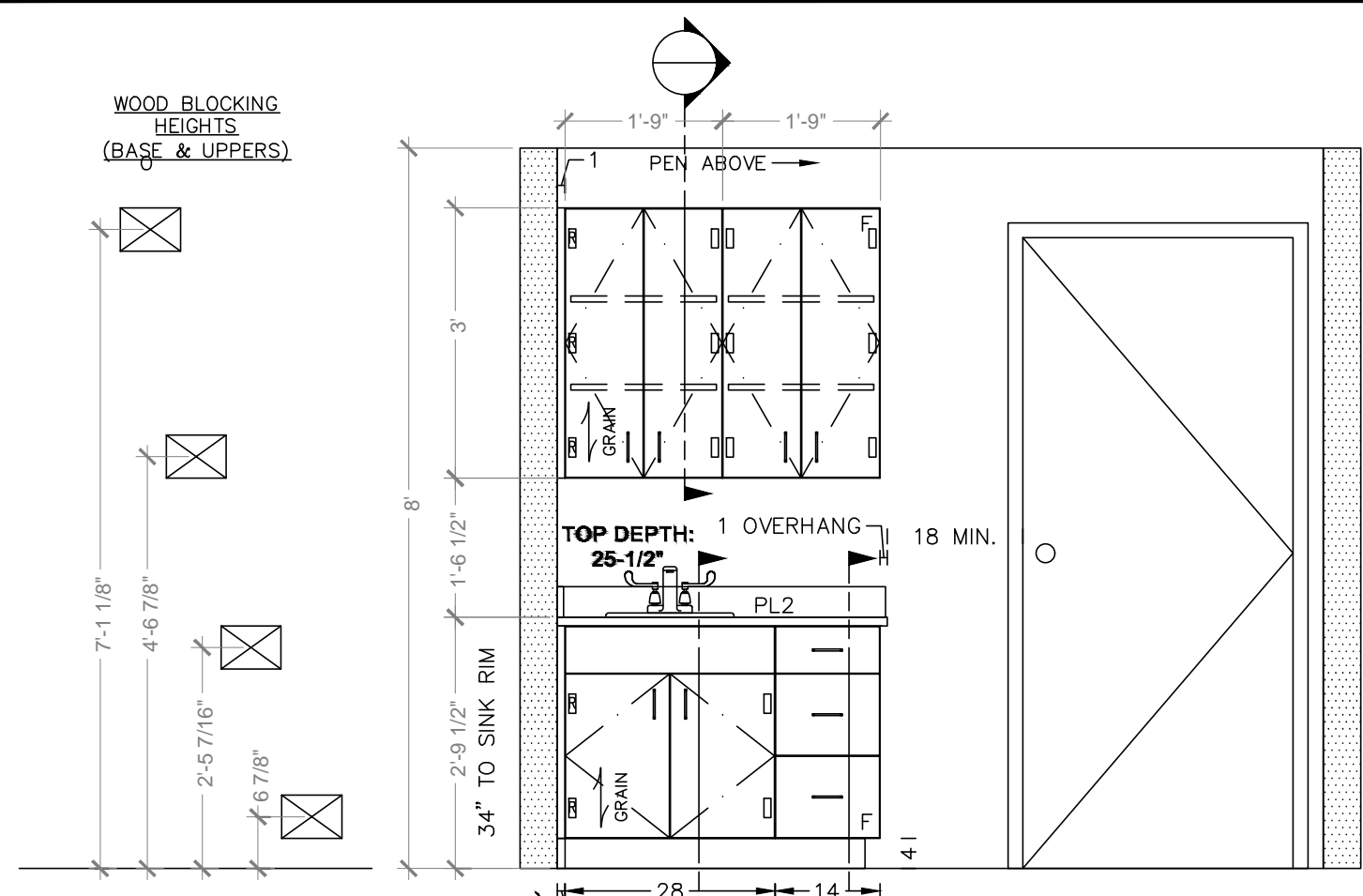
Project 1919 Fitz Ln Nixa MO 65714	Sheet
DRAWN BY BMH AS BUILT USA	A10
Date 07/21/2022	

DOOR SCHEDULE

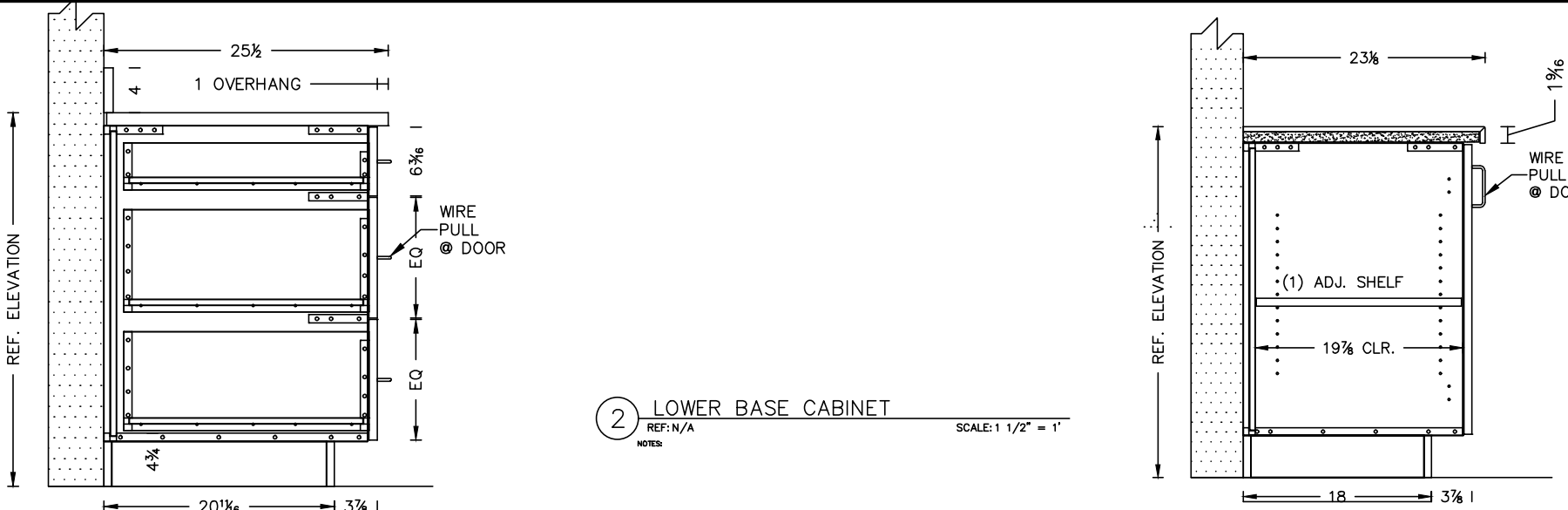
DOOR NO.	WIDTH	HEIGHT	THICKNESS	RATING	DOOR				FRAME			HDWR SET	COMMENT
					TYPE	MAT	FINISH	STYLE	MATERIAL	FINISH	TYPE		
101	3'-0"	7'-0"	1 3/4"	1 hour	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset door closer panic hdwr, 1hr fire rated
102	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
103	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
104	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
107	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
108	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
109	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
110	2'-8"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
111	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
112	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
113	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
115	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset dr closer
116	3'-0"	7'-0"	1 3/4"	—	B	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset dr closer
117	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
118	3'-0"	7'-0"	1 3/4"	—	D	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lead lined door closer
120	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
123	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
124	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset
125	3'-0"	7'-0"	1 3/4"	—	A	WD	NATURAL WOOD	—	STEEL	PAINTED	—	1	lockset

DOOR TYPES

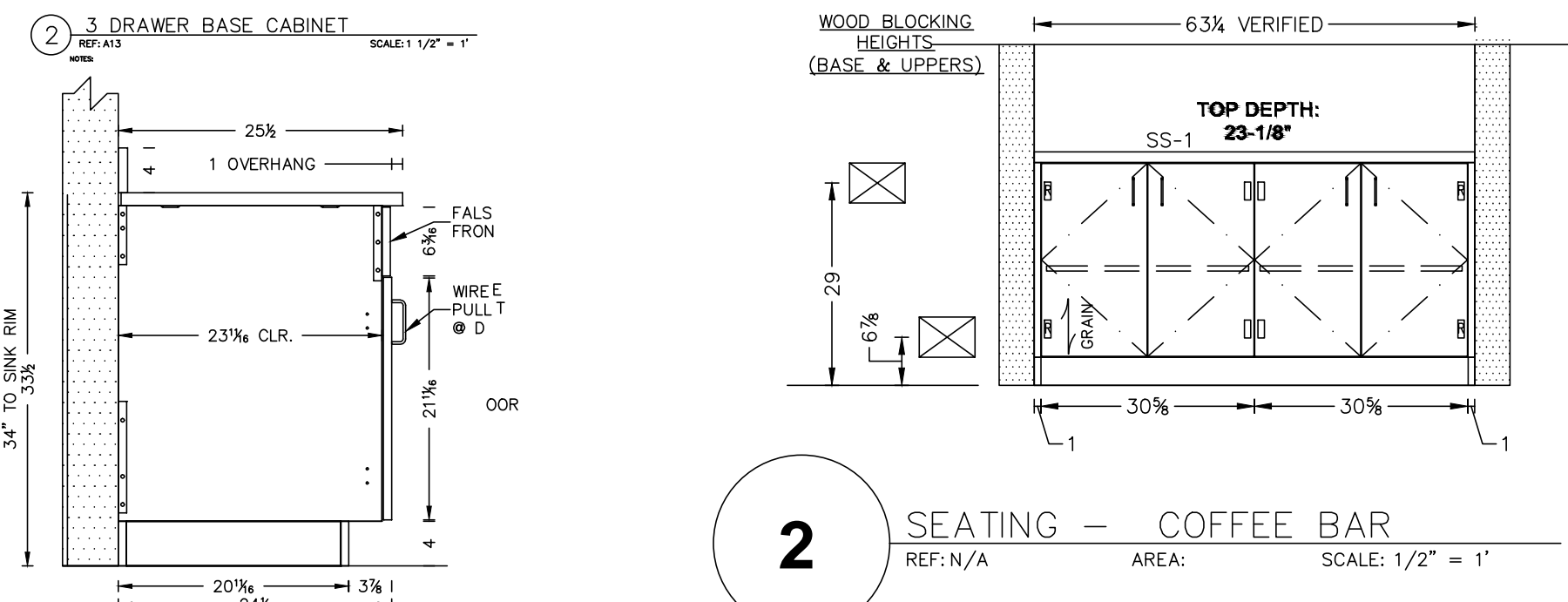
<p>TYPE-A DOOR SOLID CORE WD DOOR WITH S.S. KICK PLATE HARDWARE: LOCKSET</p>	<p>TYPE-B DOOR SOLID CORE WD DOOR WITH 1" INSULATED HALF LITE GLAZING HARDWARE: LOCKSET</p>	<p>TYPE-C DOOR SOLID CORE WD DOOR WITH S.S. KICK PLATE HARDWARE: LOCKSET</p>	<p>TYPE-D DOOR SOLID CORE WD DOOR (LEAD LINED AT DOOR) HARDWARE: LOCKSET</p>
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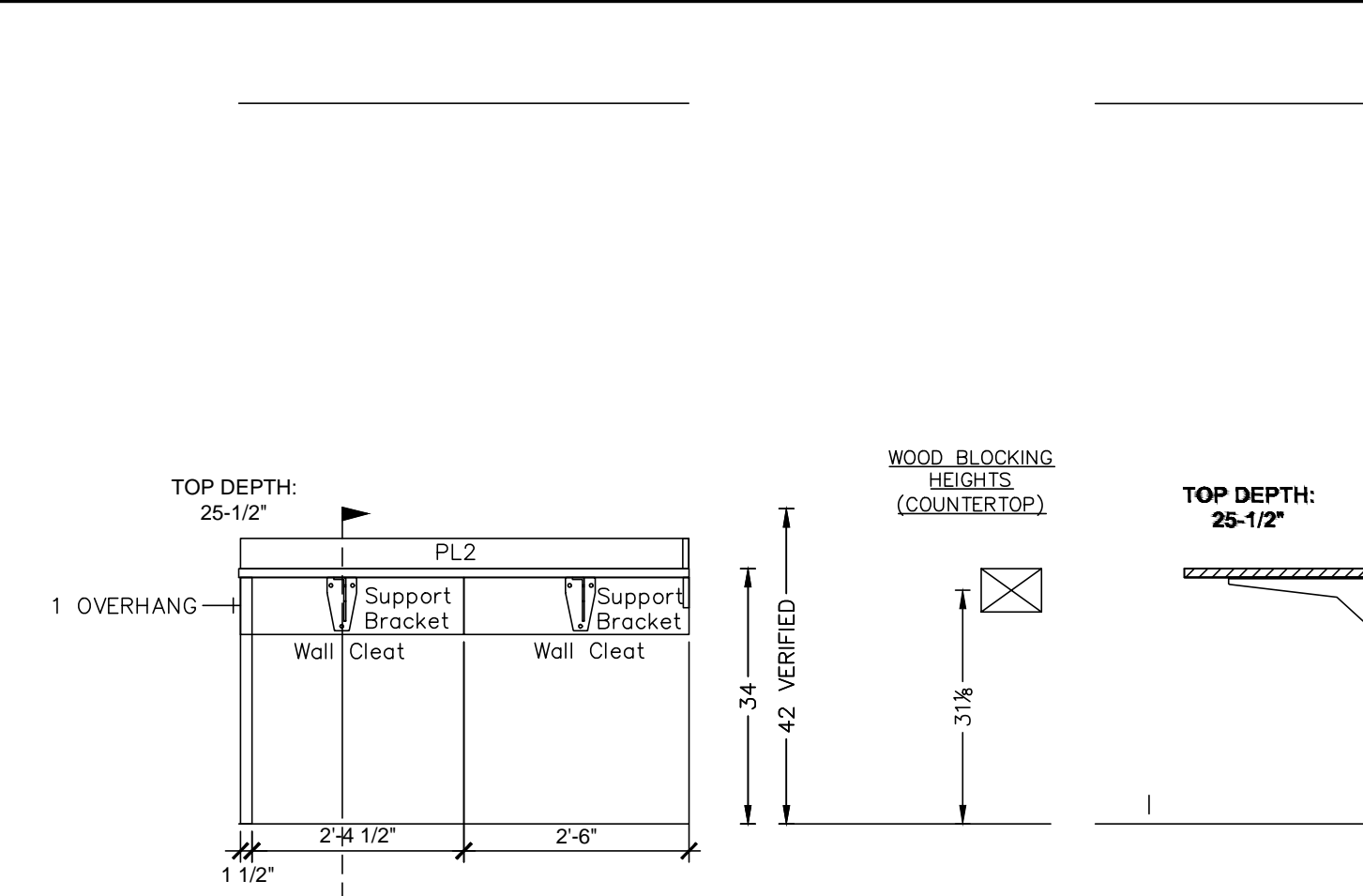
1 TYPICAL EXAM ROOM
REF: 6/A13 AREA: SCALE: 1/2" = 1'



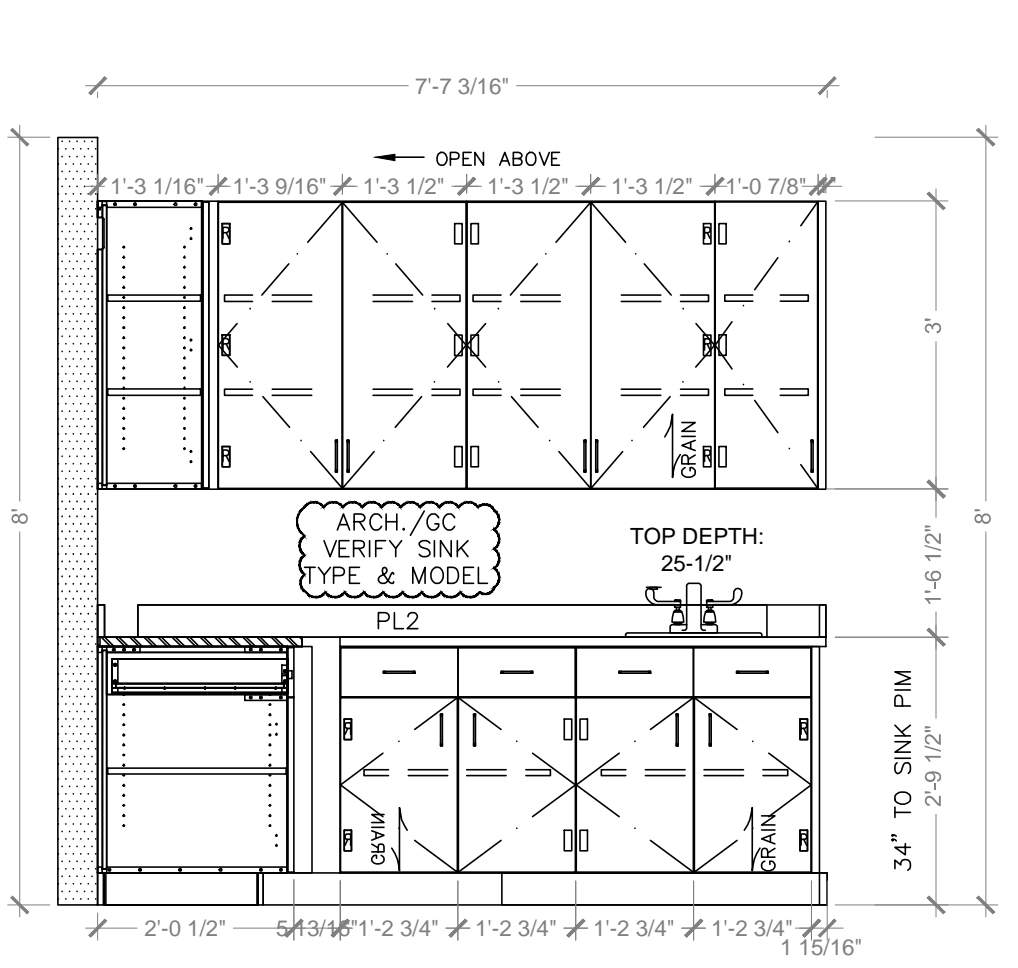
2 LOWER BASE CABINET
REF: N/A SCALE: 1/2" = 1'



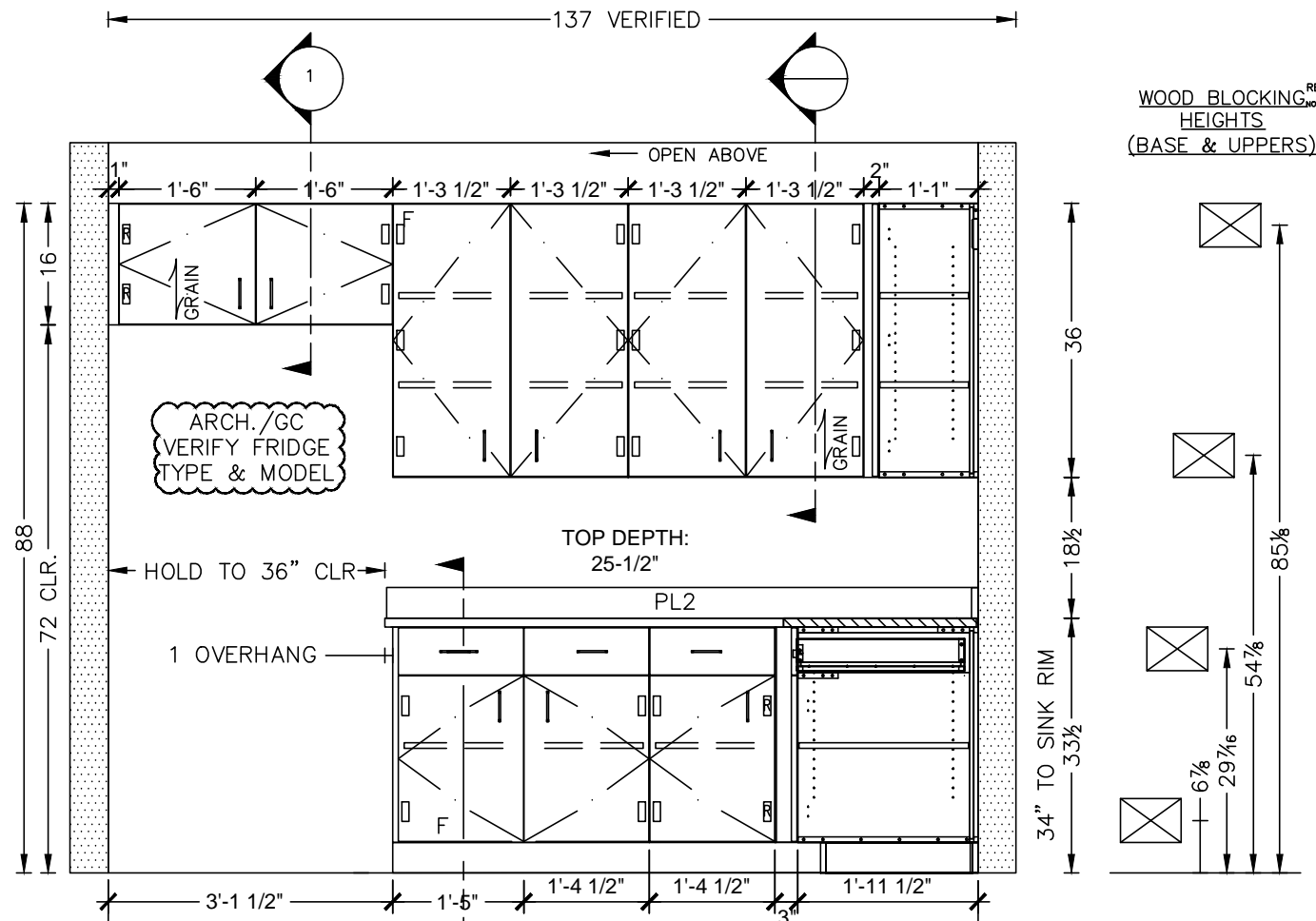
2 SEATING - COFFEE BAR
REF: N/A AREA: SCALE: 1/2" = 1'



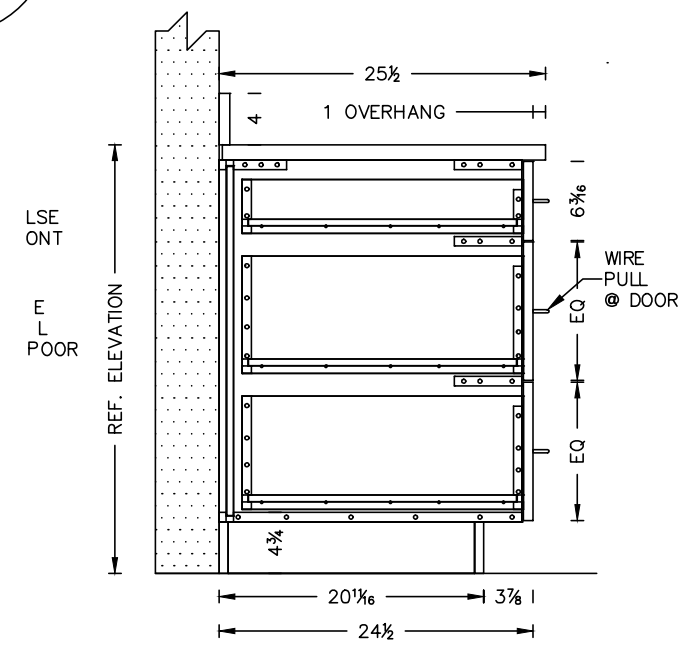
3 CONTROL
REF: A8 AREA: SCALE: 1/2" = 1'



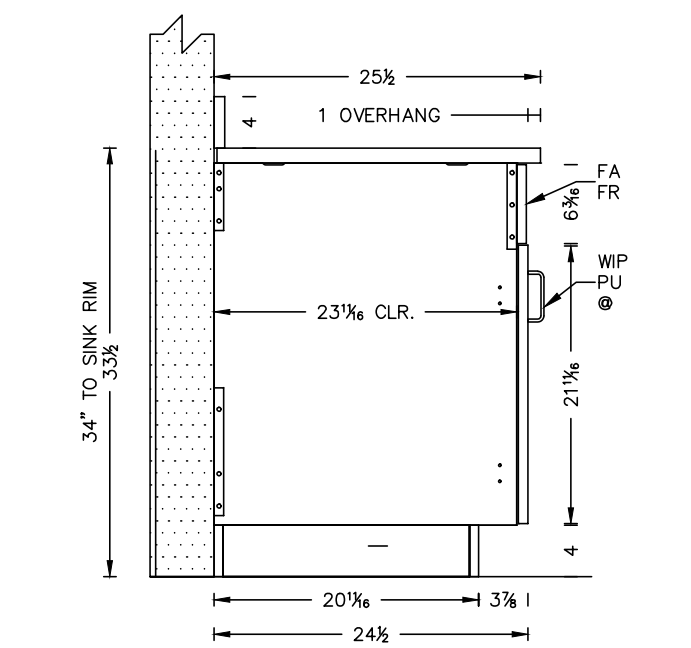
4 LAB
REF: 4/A13 AREA: QTY: 1 SCALE: 1/2" = 1'



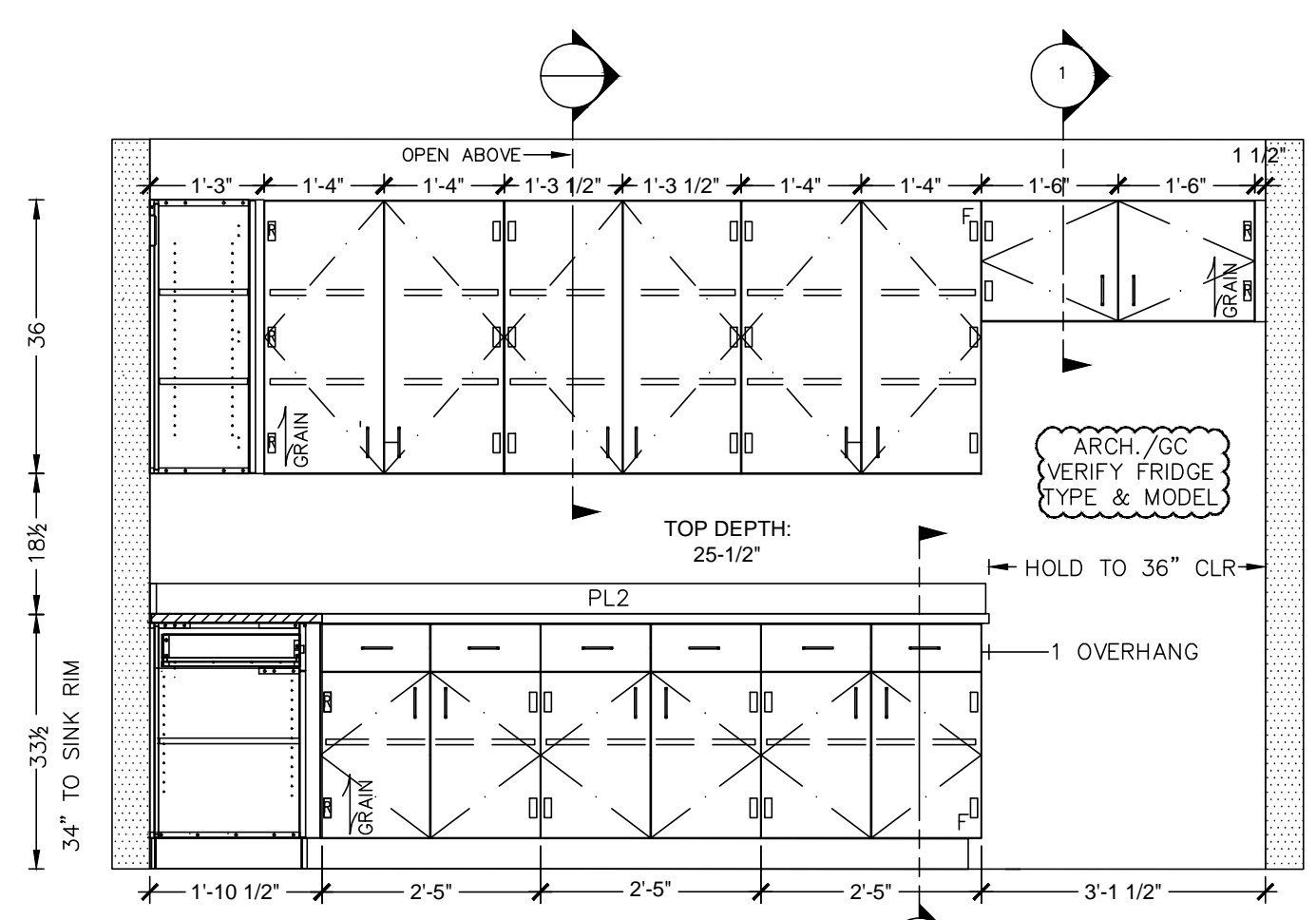
LAB
REF: 5/A8 AREA: QTY: 1 SCALE: 1/2" = 1'



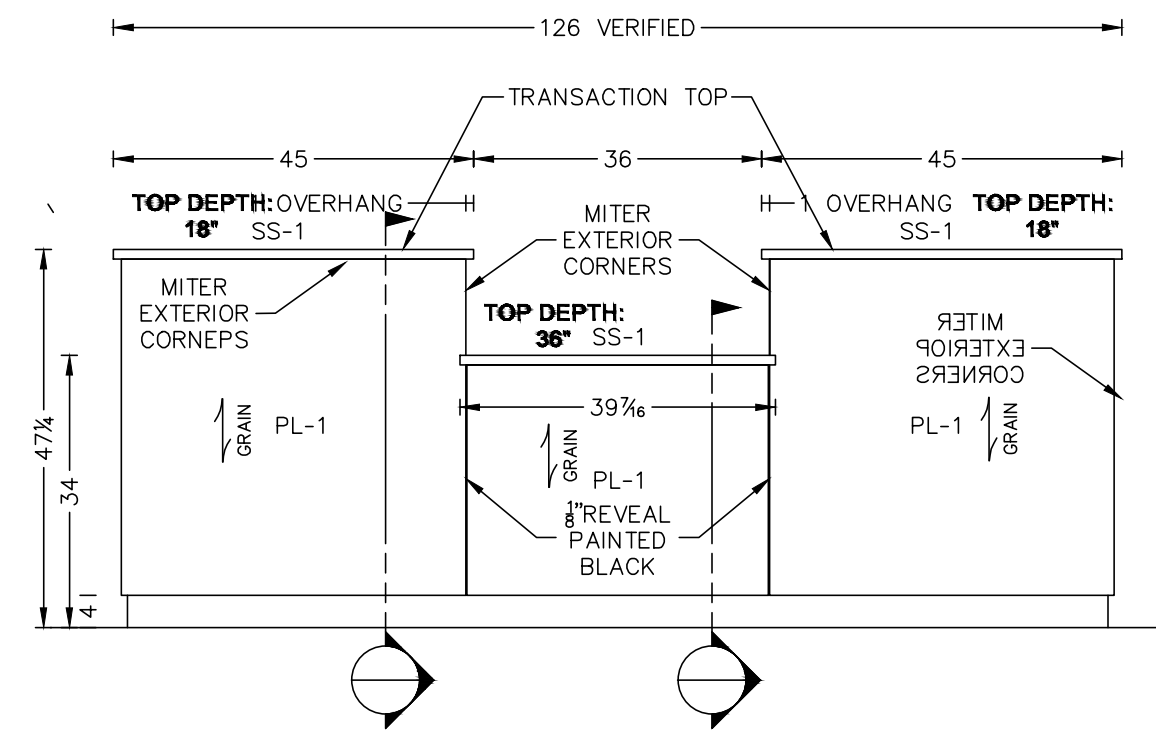
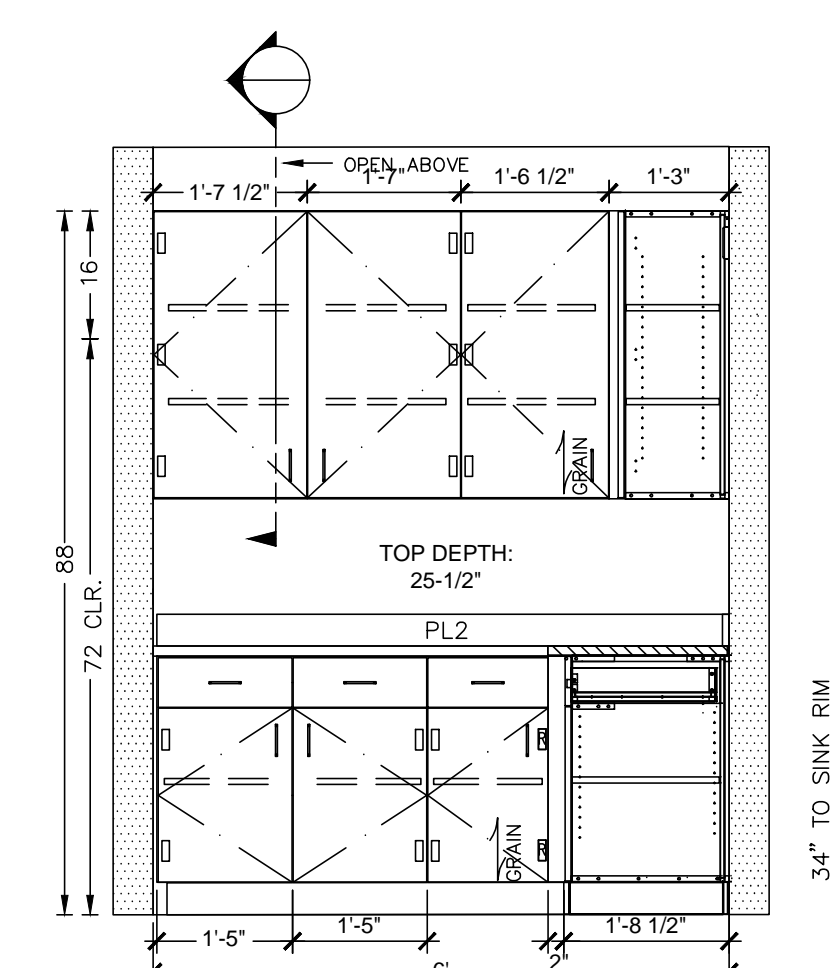
3 DRAWER BASE CABINET
REF: A13 SCALE: 1/2" = 1'



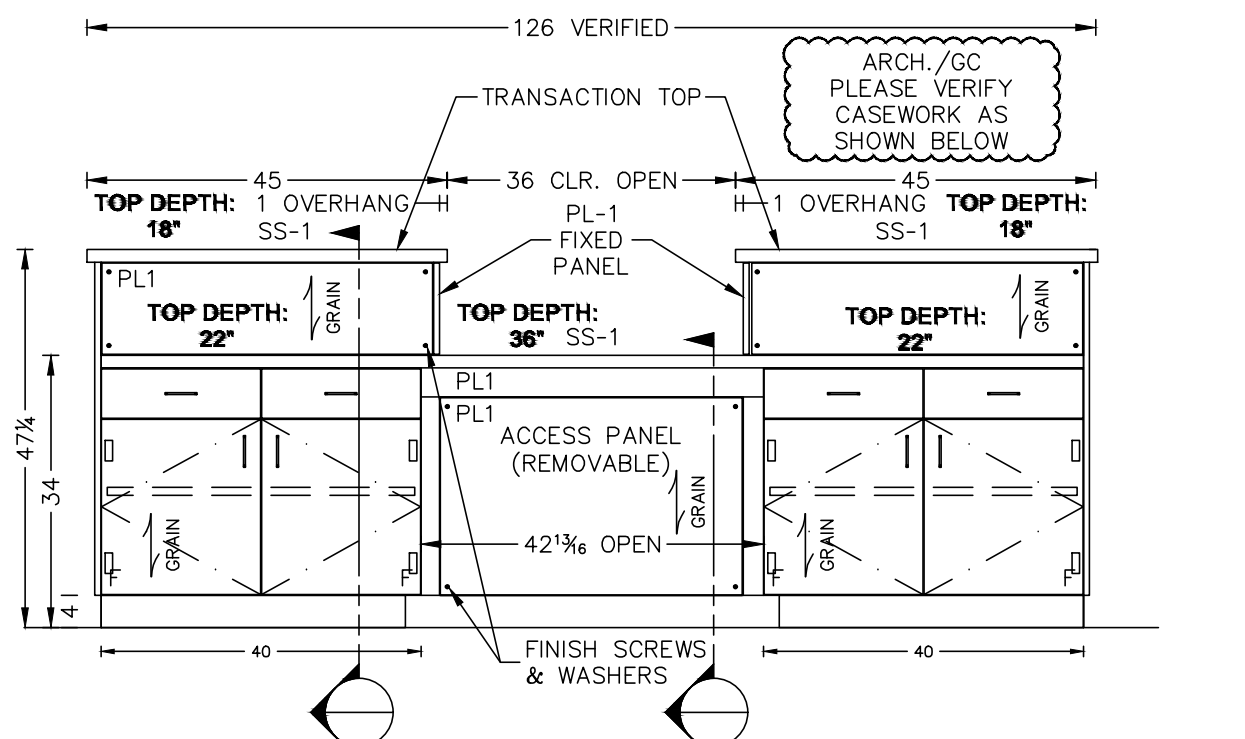
1 BASE SINK CABINET
REF: A13 SCALE: 1/2" = 1'



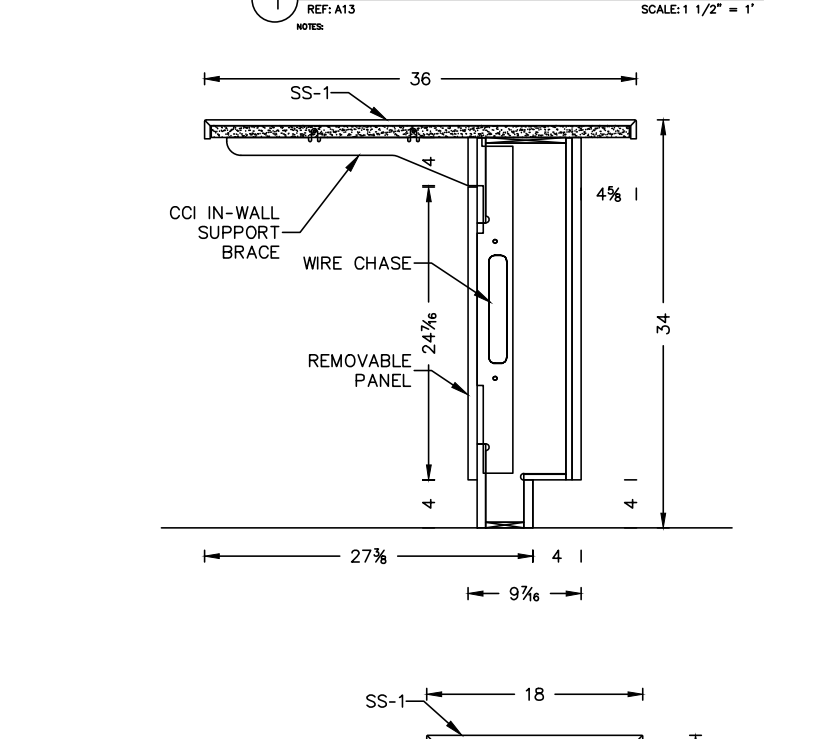
7 PHARMACY
REF: 4/A13 AREA: QTY: 1 SCALE: 1/2" = 1'



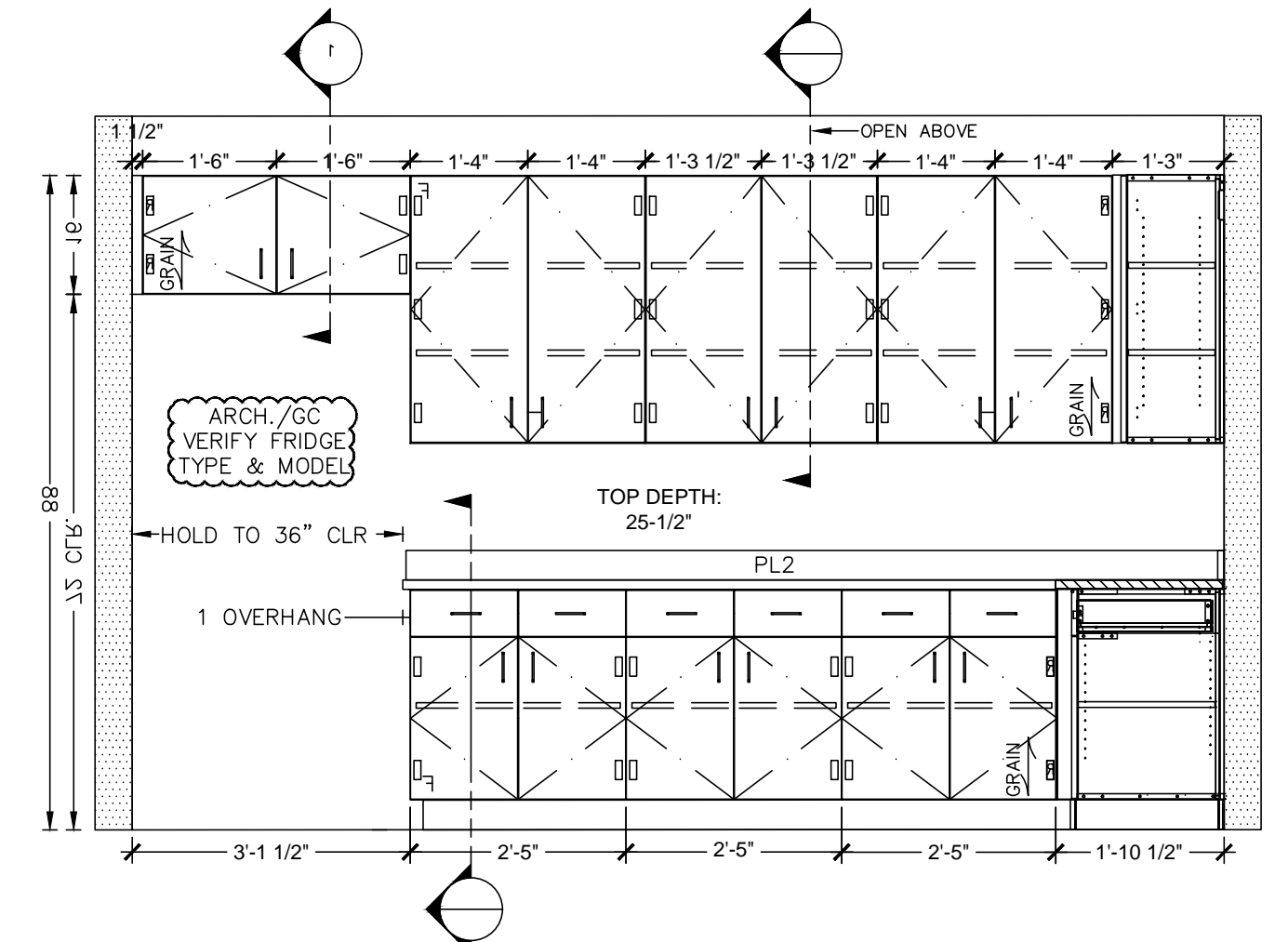
CORR. NURSE FRONT VIEW
REF: REF? SCALE: 1/2" = 1'



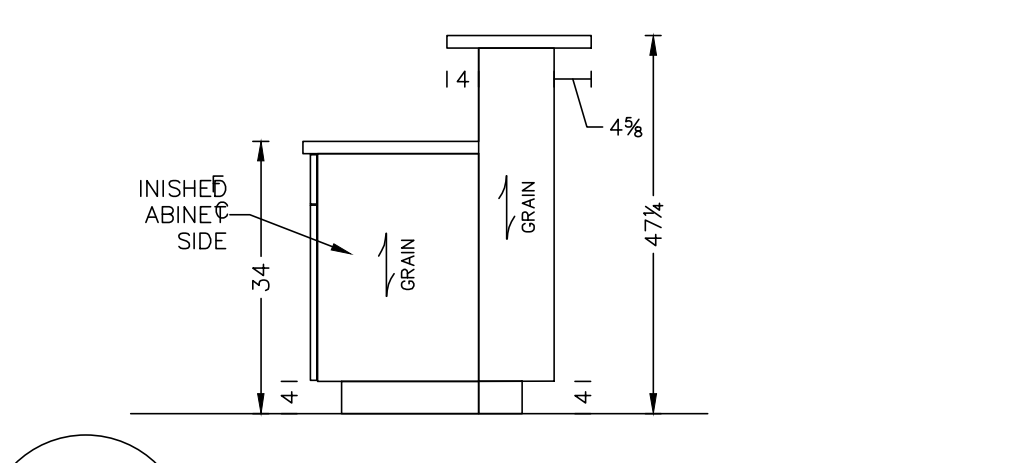
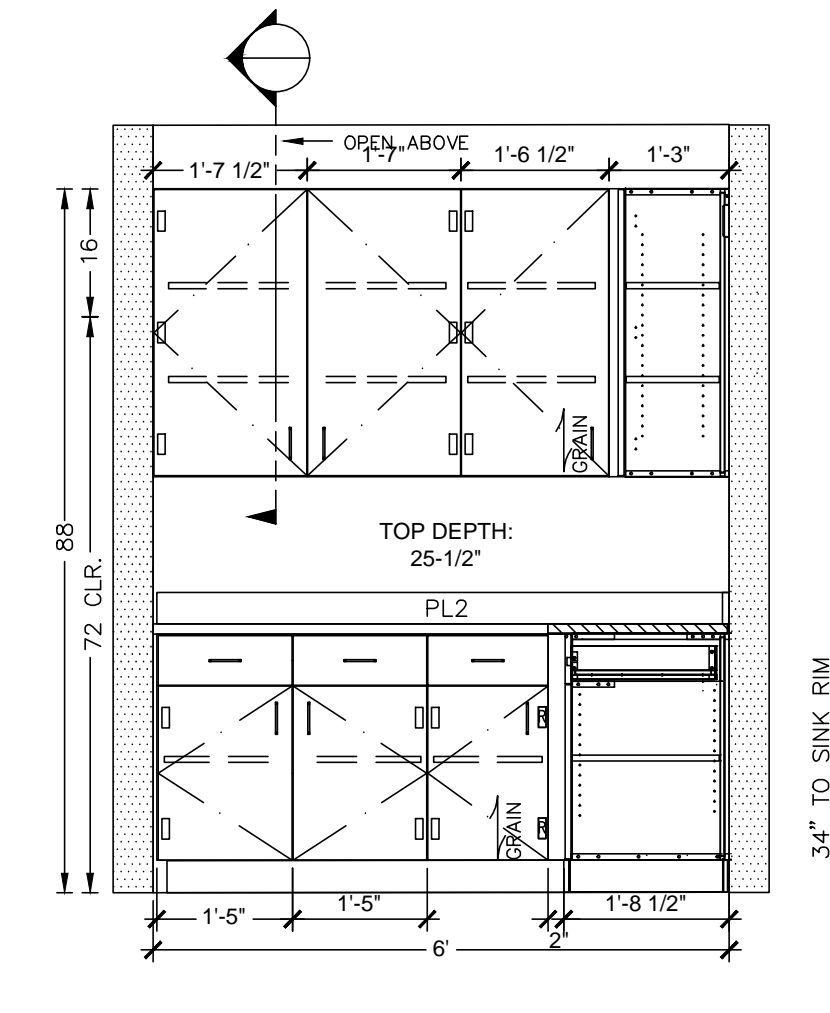
NURSE BEHIND VIEW
REF: REF? SCALE: 1/2" = 1'



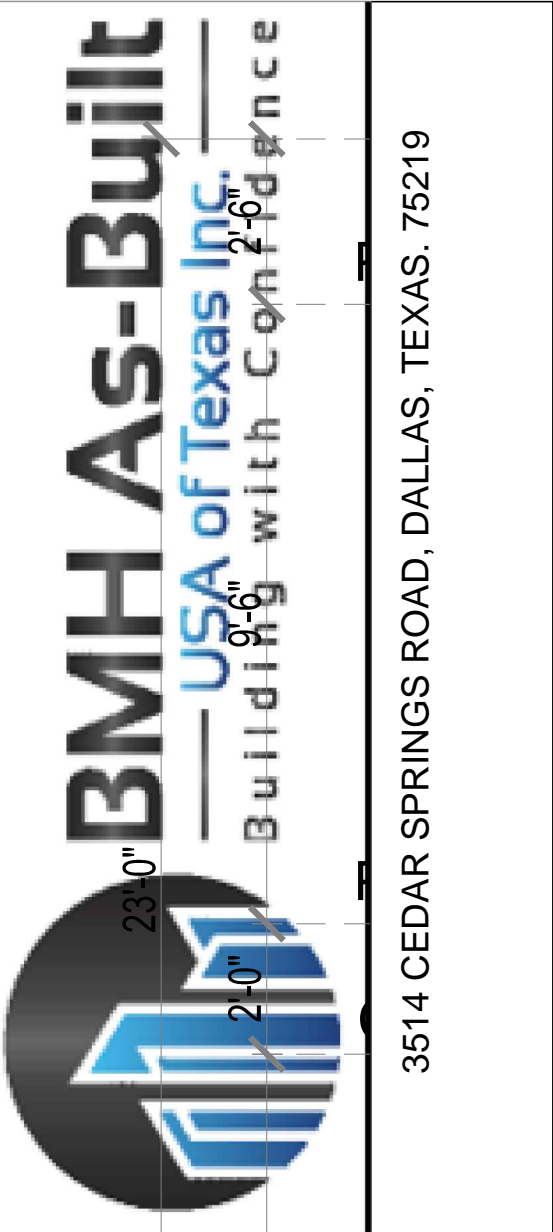
1 DRAINER DOOR CAB @ NURSE
REF: 3/A3 & 3/A2 SCALE: 1/2" = 1'



6 BREAK ROOM
REF: 6/A13 AREA: SCALE: 1/2" = 1'



5 NURSE PLAN
REF: 1/A13 AREA: SCALE: 1/2" = 1'



3514 CEDAR SPRINGS ROAD, DALLAS, TEXAS. 75219

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ARCHITECT SEAL SIGNATURE & DATE

No.	Revision/Issue	Date
3		
2		
1		07/21/22

Real Estate Firm Name and Address
1601 ELM STREET DALLAS, TX 75201

Project Name and Address
TOTAL POINT URGENT CARE
1919 Fitz Ln , Nixa MO 65714

SHEET TITLE
MILLWORK

Project 1919 Fitz Ln
Nixa MO 65714
DRAWN BY
BMH AS BUILT USA
Date
07/21/2022

Sheet
A11